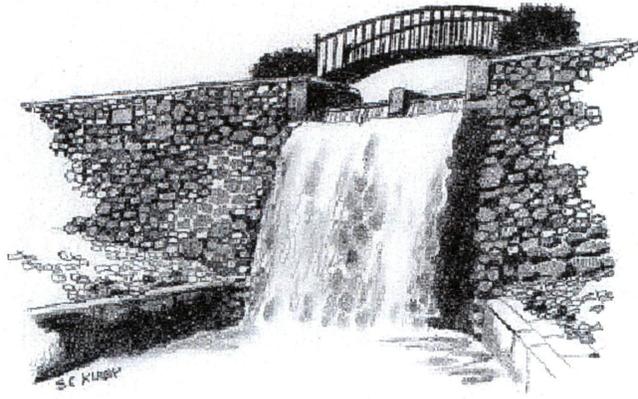


*Art Bates
Randy Beister
Allan Faust
Robert Pratt*



*Sandra Katje, Chair
Ron Sportel, Vice Chair
Jennifer Jones-Newton, Secretary*

**Charter Township of Comstock
Planning Commission Meeting**

**NOTICE AND AGENDA
December 15, 2016 at 7:00 PM
Lower Level of the Township Office**

1. Call to Order
2. Approval of Agenda
3. Approval of November 17, 2016 Meeting Minutes
4. Citizen Comments on Non-Agenda Items
5. **Special Exception Use: Accessory Building (Callender)**
Planning Commission to conduct special exception use review for the proposed placement of an accessory building in front of the house with a height exceeding 18 feet at 8032 East MN Avenue (parcel 3907-34-305-020) in the AGR, Agriculture-Residential District.
6. **Site Plan Review – Commercial/Retail Building (Gull Road Equity Partners, LLC)**
Planning Commission to conduct site plan review of a proposed 7,800 square foot commercial building at 5601 Gull Road (parcel 3907-06-255-055).
7. **Site Plan Amendment – Zeigler Motorsports**
Planning Commission to review revised site plan for the Zeigler Motorsports dealership with restaurant at 5001 Park Circle Drive (parcel 3907-31-102-156).
8. Any Other Business
9. Planning Commissioner Comments
10. Adjournment

Next Regular Meeting January 12, 2017

1 COMSTOCK CHARTER TOWNSHIP

2
3 PLANNING COMMISSION

4
5
6 MINUTES OF MEETING HELD NOVEMBER 17, 2016

7
8 A meeting of the Comstock Charter Township Planning Commission was held on
9 Thursday, November 17, 2016, at the Comstock Township Hall, beginning at 7:00 p.m.

10
11 Members Present: Art Bates
12 Randy Beister
13 David Burgess
14 Allan Faust
15 Sandra Katje, Chairperson
16 Ron Sportel, Vice Chair

17
18 Members Absent: Jennifer Jones- Newton, Secretary
19

20
21 Also present were Township Planning & Zoning Administrator Jodi Stefforia and three
22 other interested persons.

23
24 **Call to Order**

25
26 The Chairperson called the meeting to order at 7:00 p.m.

27
28 **Approval of Agenda**

29
30 The Chairperson asked if there were any additions or deletions to the agenda. Ms.
31 Stefforia indicated that she did not have any changes.

32
33 **Approval of Minutes**

34
35 The Planning Commission next considered the minutes from the November 3, 2016
36 meeting. Commissioner Faust identified an error on page two with respect to the
37 Consumers Energy substation power lines will be 46,000 volts, not 46. Motion by
38 Commissioner Sportel, support by Commissioner Beister to approve the November 3,
39 2016 minutes as corrected; motion passed.

40
41 **Public Comment**

42
43 None.
44
45
46

1 Commissioner Faust inquired as to why there is such a difference in sign size among
2 the brands to which Kevin Gale, of Zeigler Motorsports, replied that each manufacturer
3 has its logo. Commissioner Faust noted that they could still all be held to the same
4 size.

5
6 Commissioner Burgess stated that he understands that it is about the signs being
7 proportionate on the building noting that there are discrepancies, however, such as the
8 façade section where the Ducati and Triumph signs are shown.

9
10 Mr. VanderSloot asked if the discussion could turn to identifying those signs or wall
11 sections where there appears to be disproportion because Zeigler Motorsports wants an
12 aesthetically pleasing building and the layout of the signs on the façade is important
13 more so than limiting each brand to the same square footage.

14
15 Commissioner Faust asked what happens if Zeigler Motorsports adds another brand to
16 the dealership. Mr. Gale responded that it would require another building and that
17 Polaris is the only brand they do not sell and it is already available in the Kalamazoo
18 market at another dealership. He added that Zeigler wants this to be a first-class facility
19 and that it is a \$10Million building while noting the variation in the architecture on the
20 front façade. He said the dealership will be a big draw to the Midlink area and beyond
21 noting that the recently closed Advia Credit Union across the street is presently
22 remodeling and planning to re-open as a loan center as a result of this project.

23
24 Commissioner Burgess stated that the Planning Commission recognizes that this
25 project is different from the balance of Midlink and this retailer has identification needs
26 that industrial users do not.

27
28 Mr. VanderSloot shared that the SkiDoo/SeaDoo/CanAm/BRP signs are required per
29 the franchise agreement to be grouped together. He suggested that each brand be
30 limited to 50 square feet as most already meet that limit.

31
32 Commissioner Burgess stated that if the limit is 25 square feet the service sign is that
33 size and asked the Planning Commissioners to envision each brand that size across the
34 façade. He noted that there are other retail areas in the PMUD to keep in mind that may
35 have similar identification needs.

36
37 Commissioner Sportel stated that he would prefer to not set a per sign limit but a total
38 square footage for the building, such as 700 square feet, and let Zeigler Motorsports
39 figure out how the brands' signs are sized. Mr. VanderSloot asked if the main Zeigler
40 Motorsports sign on the building could be the focal point and remain 152 square feet to
41 which Commissioner Sportel replied that is why he is suggesting a total limit rather than
42 discussing specific sign sizes. He noted, however, that Zeigler Motorsports does have a
43 large sign by the road.

44
45 Ms. Stefforia noted that some of the signs in the sign package are smaller than the
46 numbers indicate on the drawing when you use the smallest geometric shape to

1 detached garage do not have greater setback requirements when it is the principal
2 garage serving the home. She said this will come into play on smaller lots where the
3 garage is behind the house.
4

5 Commissioner Faust stated that a definition of what is considered a task area should be
6 added to the draft text.
7

8 Commissioner Bates stated that the reference to the Illuminating Engineering Society
9 should be eliminated in Section 8.54A as requiring lighting plans to be prepared per this
10 organization's publications can be costly for commercial and industrial property owners.
11

12 There being no further discussion on the draft text, motion by Chair Katje, support by
13 Commissioner to set the public hearing for January 12, 2017; motion passed.
14

15 **Accessory and Small Dwelling Units**

16

17 The Planning Commission then turned to the information provided by Mary Gustas of
18 the Comstock Community Center regarding allowing accessory dwelling units in the
19 single family and other areas of the Township.
20

21 Ms. Gustas stated that small dwellings is a big movement and there is also interest in
22 allowing small dwelling units on properties with an existing home as an accessory
23 dwelling. She referenced the Cass Community project outside downtown Detroit as a
24 neighborhood of tiny homes on small lots now underway. She noted that the residents
25 will include homeless people and also other low income people who need affordable
26 housing options and has homeownership as its goal through a HUD grant.
27

28 Ms. Gustas shared that she envisions a development like this at the former high school
29 property on 26th Street. She noted that Comstock Public Schools has offered the
30 Comstock Community Center the property for \$1 but the Center does not have the
31 funds to abate the lead and asbestos and raze the building. She feels now, however,
32 that funds from USDA for housing-related projects and brownfield money may make the
33 site an option for a development such as a tiny house development. She envisions a
34 mix of ages from seniors to young families.
35

36 Ms. Gustas stated that she recognizes that there is also a need for accessory dwelling
37 units which is a separate issue.
38

39 Chair Katje inquired about the demographics of a tiny house development to which Ms.
40 Gustas replied that the Detroit example will house formerly homeless people but there
41 will be a variety of house sizes in the development. She added that Housing
42 Resources, Inc. in Kalamazoo is interested in helping to house the homeless in the
43 county and that a HUD subsidy can allow the cost of a home to be based upon income.
44

45 Commissioner Burgess stated that this issue goes beyond fighting homelessness as
46 there is interest among young people and downsizing empty-nesters and there is also

1 **Adjournment**

2

3 The meeting was adjourned at 8:33 p.m.

4

5

6

7

Jennifer Jones-Newton, Secretary

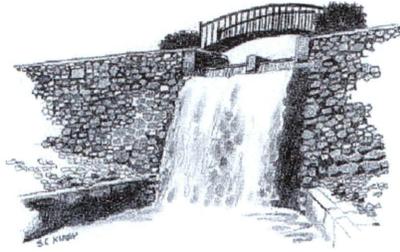
8

9 Prepared by: Jodi Stefforia, Planning & Zoning Administrator

10 Minutes prepared: November 21, 2016

11 Minutes approved: December 15, 2016

Charter Township of Comstock



STAFF REPORT

To: Planning Commission **Meeting:** December 15, 2016

From: Jodi Stefforia, Planning & Zoning Administrator **Agenda Item:** 5

Applicant & Owner: Timothy Callender

Property: 8032 East MN Avenue (10 acres)

Zoning: AGR, Agriculture-Residential District

Parcel: 3907-34-305-020

Request: special exception use approval to place an accessory building between the house and the road and exceed a height of 18 feet

Section(s): 4.02.11.d.1

Staff Report:

Overview

The subject property is the applicant's residence. He would like to construct an accessory building of on his property between his home and the road with a peak height exceeding 18 feet.

The ordinance requires that an accessory building that is not structurally attached to the residence be located in the rear yard and not exceed a height of 18 feet. However, Section 4.02.11.d.1 of the Zoning Ordinance allows residents on lots of more than one acre to seek special exception use approval for an accessory building that fails to meet the size, height or location requirements of the ordinance.

OTHER DETAILS

The property is zoned AGR, Agriculture-Residential District. To the north, south and west are agricultural lands; to the east is a single family residence.

The applicant's house sits more than 600' from the street on this 10-acre parcel. The house is not visible from the street given the distance and the wooded nature of the front acreage. There is presently an approximately 2,100 square foot single-store home with a 460 square foot attached garage; this 10-acre parcel is permitted up to 5,000 square feet in accessory building space, by Ordinance.

SPECIAL EXCEPTION USE

The Special Exception Use criteria that must be considered by the Planning Commission are listed below.

Section 4.13(c)2 Principles and Conditions

A special exception may be granted when the Planning Commission finds the following:

Criteria: ***The proposed use does not affect adversely the General Plan for physical development of the Township as embodied in this ordinance and in any Master Plan or portion thereof adopted by the Township.***

Comment: The current Master Plan designates this area as Agriculture. The Master Land Use Plan defines the Agriculture future land use classification:

This land use designation is intended to protect the Township's existing agricultural land as well as support the ever expanding bedding plant and greenhouse industry in the Township.

Criteria: ***The proposed use will not affect adversely the health and safety of residents or workers in the area and will not be detrimental to the use or development of adjacent properties or the general neighborhood.***

Comment: Accessory buildings are common in this area of the Township. The placement of the building on the subject parcel in front of the house will not have an impact on adjacent properties or the general neighborhood.

Criteria: ***The standards as may be set forth for a particular use for which a special exception may be granted, can and will be met by the applicant.***

Comment: Standards that preclude the building from being used for habitation or business purposes should be conditions considered by the Planning Commission for approval.

Criteria: *The proposed use is compatible with the natural environment and the capacities of public services and facilities affected by the proposed use.*
Comment: The accessory building will not impact public services and facilities.

RECOMMENDATION

We recommend approval of the special exception use with the following conditions:

1. The building may not be used for human habitation.
2. The building may not be used to operate a business.
3. The building may only be used as a residential accessory building.

Attachments: Application
Elevation
Floor plan
Site Sketch
Aerial Map



**CHARTER TOWNSHIP OF COMSTOCK
PLANNING & ZONING APPLICATION**

6138 King Highway, Kalamazoo MI 49048
PO Box 449, Comstock MI 49041-0449
Phone: 269-381-2360 Fax: 269-381-4328

PLEASE PRINT

PROJECT NAME AND ADDRESS: 8032 East MN Ave, Kalamazoo, MI 49048

APPLICANT:

Name Timothy Callender
Company _____
Address 8032 East MN Ave
Kalamazoo, MI 49048
Email Callendertim@gmail.com
Phone 269-491-1735 Fax _____
Interest in the Property _____

Township Use:

Fee:

\$ 500

Escrow:

\$ —

Date Paid:

11-18-16
cash/credit card
check # 1542

OWNER*:

Name _____
Company _____
Address _____

Email _____

Phone _____ Fax _____

*If different

NATURE OF REQUEST: (Please check all the appropriate item(s))

- | | |
|-----------------------------------------------------------|------------------------------------------------|
| <input type="checkbox"/> Site Plan Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Administrative Site Plan Review | <input type="checkbox"/> Master Plan Amendment |
| <input checked="" type="checkbox"/> Special Exception Use | <input type="checkbox"/> Text Amendment |
| <input type="checkbox"/> Site Condominium | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Subdivision Plat Review | <input type="checkbox"/> Interpretation |
| <input type="checkbox"/> PUD/PURD/PMUD | <input type="checkbox"/> Planning Escrow |
| <input type="checkbox"/> Other: _____ | |

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): _____

I would like to place a garage on the between my house and the road.

The garage will also be over 18 feet tall.

LEGAL DESCRIPTION OF PROPERTY (*Use Attachments if Necessary*): _____

SEC 34-2-10 BEG AT W1/4 COR SEC 34 TH E ALG E&W1/4 LI SD SEC 332.6 FT TH S
1325.74 FT TO S1/8 LI SD SEC TH W ALG SD 1/8 LI 332.17 FT TO W LI SD SEC TH N
ALG SD W LI 1326.15 FT TO POB

PARCEL NUMBER: 3907 - 07-34-305-020

ADDRESS OF PROPERTY: 8032 East MN Ave, Kalamazoo, MI 49048

PRESENT USE OF THE PROPERTY: Residential

PRESENT ZONING: AGR **SIZE OF PROPERTY:** 10.120 Acres

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
_____	_____
_____	_____

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. By submitting this Planning & Zoning Application, I (we) grant permission for Comstock Township officials and agents to enter the subject property of the applicant as part of completing the reviews necessary to process the application. I (we) as Applicant(s), understand that I (we) am responsible for the reimbursement to the Township of its actual expenses in connection with my (our) application, under the Township's Escrow Fee Policy, and I (we) agree to pay such amounts under the terms of that policy.

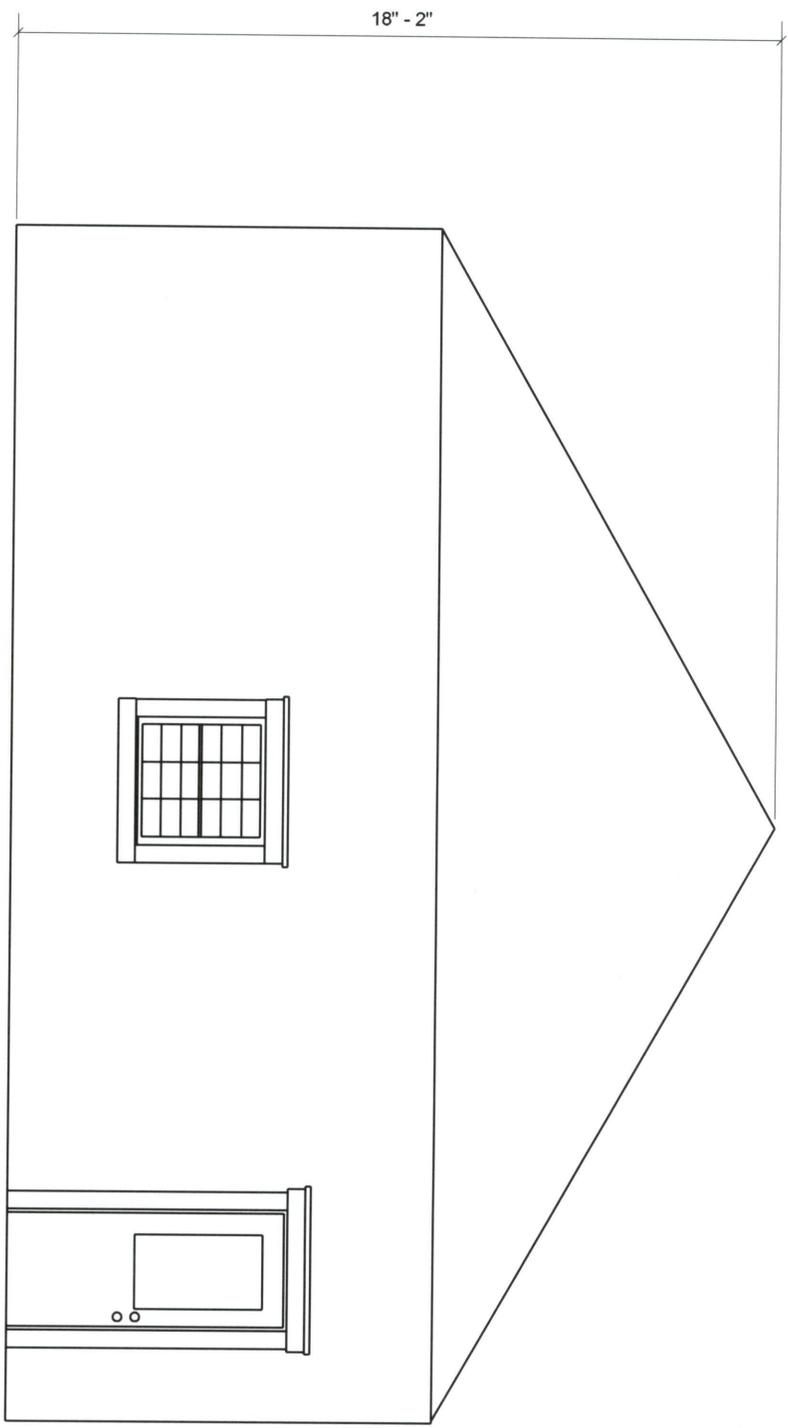

Applicant's Signature

11/18/2016
Date

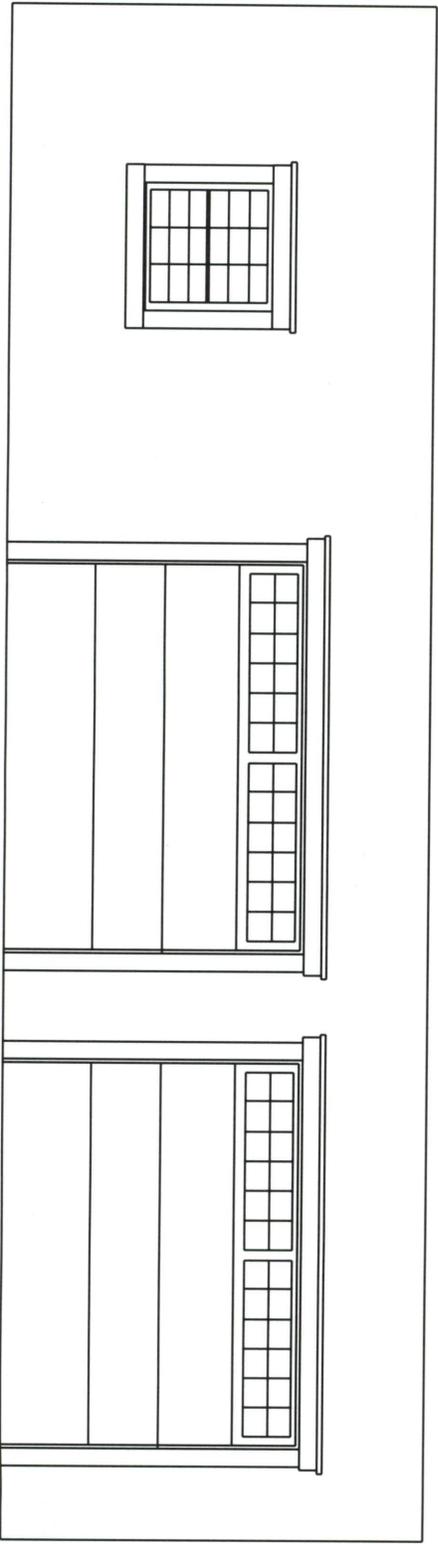
Owner's Signature authorizing submission of Application **Date**
(* If different from Applicant)

**** PLEASE ATTACH ALL REQUIRED DOCUMENTS ****

- Copies to:
- Planning & Zoning - 1
- Applicant - 1
- Treasurer - 1
- Assessor - 1
- Administrative Assistant - Original

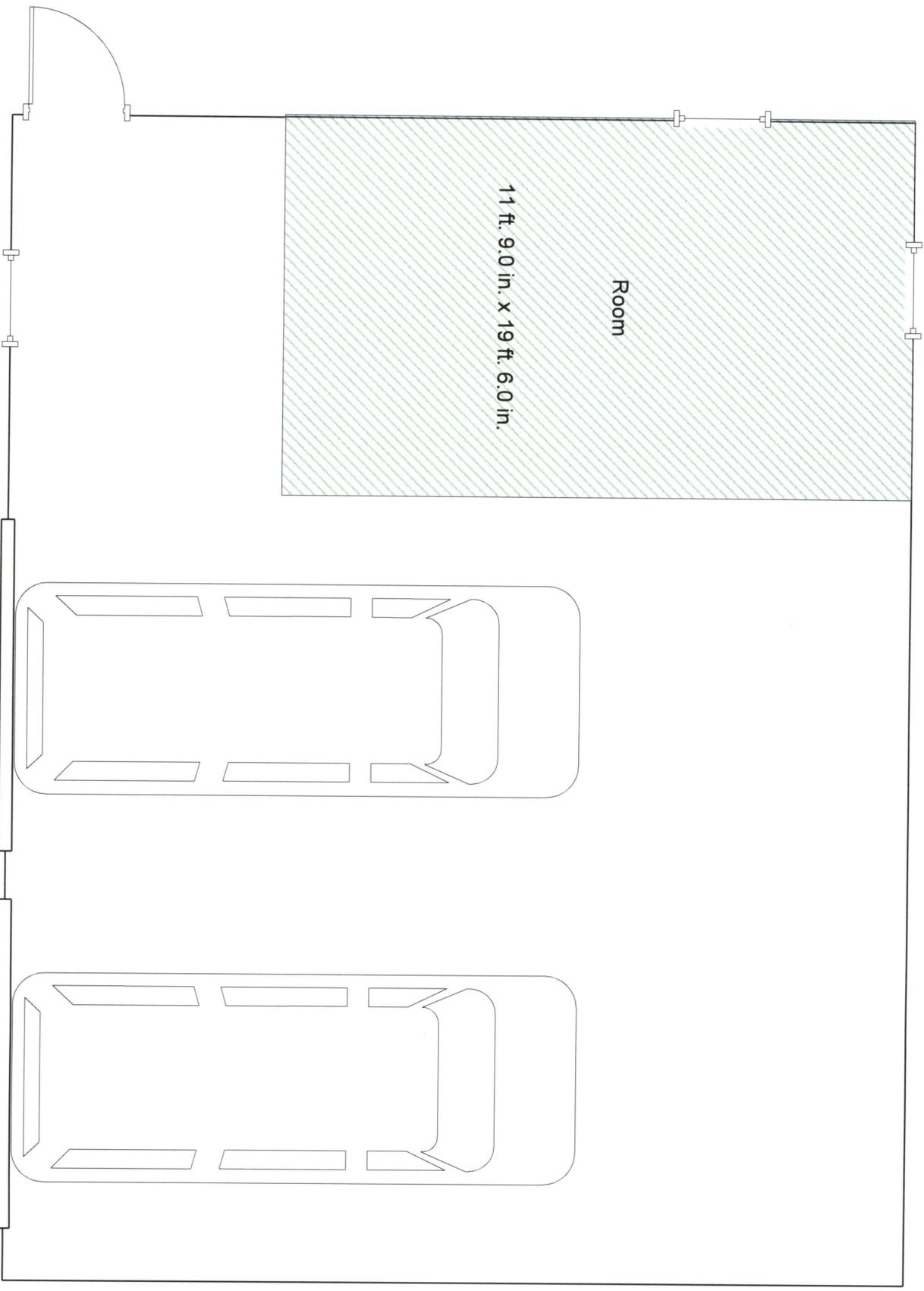


South Side View

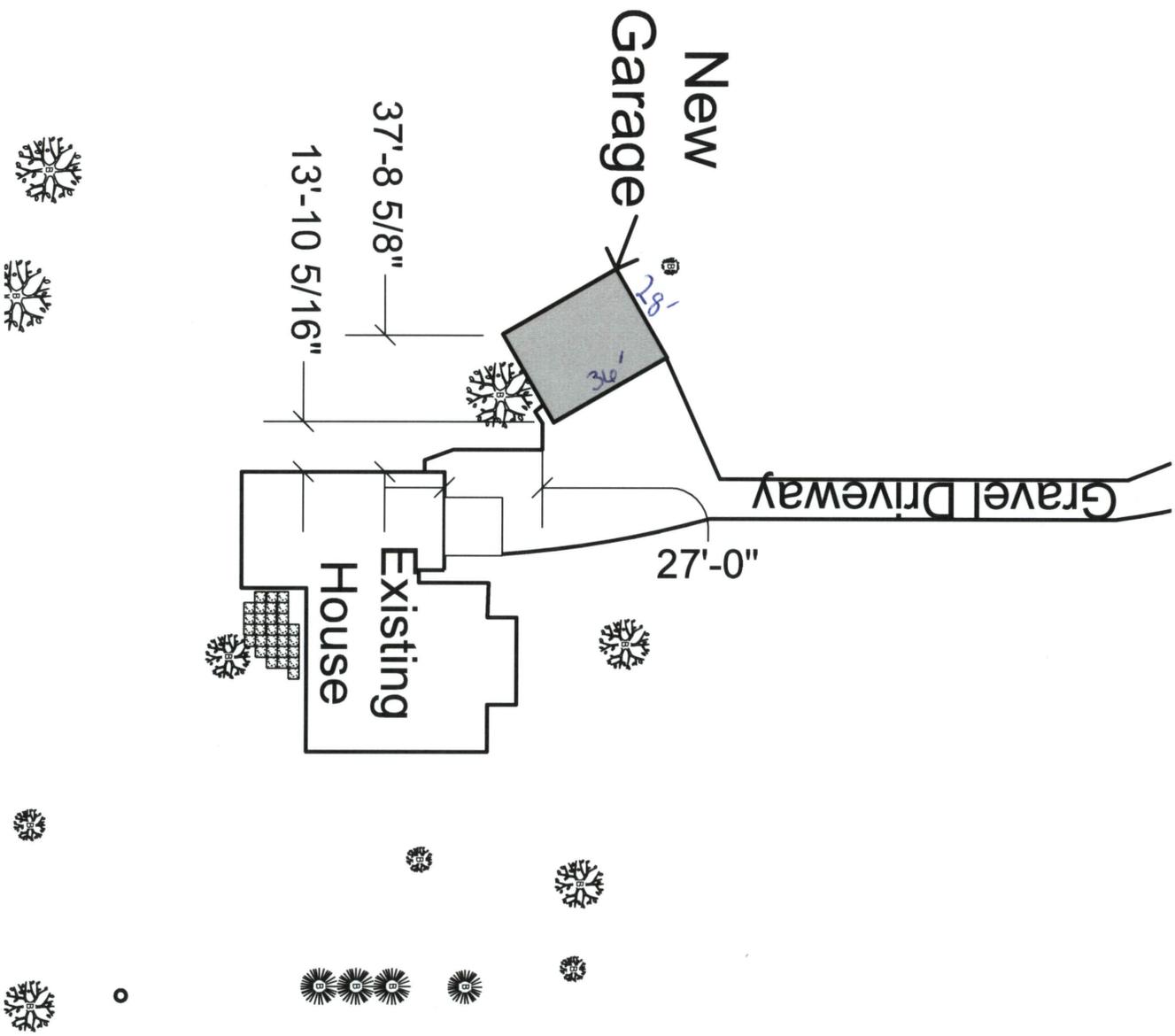


East Side View

Scale 1/4" = 1'

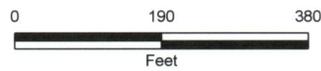


Scale 1/4" = 1'

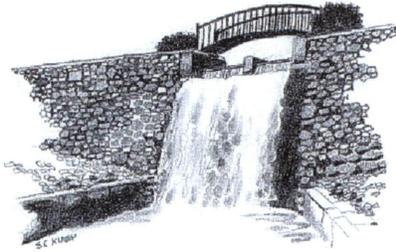


North

Comstock Charter Township
8032 East MN Avenue



Charter Township of Comstock



STAFF REPORT

To: Planning Commission **Meeting Date:** 12/15/16
From: Jodi Stefforia, Planning & Zoning Administrator **Agenda Item:** 6
Applicant: Derek Miller, Hurley & Stewart
Owner: Greg Dobson, Gull Road Equity Partners, LLC
Property: 5601 Gull Road (1.3 acres)
Zoning: B-2, Community Business District
Request: site plan amendment
Section(s): 22.05 – Site Plan Approval

Staff Report:

Proposed Development

The subject property is on the north side of Gull Road between two built-out commercial sites. A 7,800 square foot commercial building with associated parking is proposed.

The applicant is before the Township seeking site plan approval of a new multi-tenant commercial building. At present, no tenants have been identified. Although the site plan shows the potential for a drive through service window, the applicant is aware that if a restaurant uses the window, prior special exception use approval will be necessary.

OTHER DETAILS

Parking is provided based upon retailers in the building. Parking does comply as proposed if the building is entirely retail; restaurant parking requirements are similar. Staff does not anticipate that parking will be inadequate if a restaurant occupies one of the suites.

Lighting details have been submitted for the pole-mounted lights. No building-mounted lights have been shown on the site plan or fixture details submitted.

No direct access to Gull Road is shown. There is shared access among the properties on the north side of Gull Road established and managed through an Architectural Control Committee.

Landscaping is shown on the plans. This is the first commercial property to develop under the landscaping provisions adopted in October. The applicant's site planning and design process was underway while the ordinance was being prepared. Full compliance with the landscaping ordinance is not provided with the site plan. With the established service drive across the frontage and existing depth of parking from the right-of-way on abutting properties (10 feet), full compliance with the 20-foot greenspace is not possible nor appropriate on the Gull Road frontage. In order to provide circulation around the building, no greenspace is provided along the east property line; Staff advised the applicant that it would be acceptable as proposed as well as a reduced greenspace width on the west property line of 14 feet given the 10 feet of green area on the adjacent parcel between the drive aisle and the common property line. Landscaping in the rear/north greenspace line will satisfy the ordinance when the 26 required shrubs are added; this area contains the most plantings due to the abutting residential use. Internal parking lot landscaping does not meet the required square footage or plantings. Applicant will speak to the landscaping proposal.

The site is served with public water and sewer. Storm water will be managed on-site through the use of chamber systems under the pavement.

STANDARDS FOR APPROVAL

Section 22.04 of the Zoning Ordinance provides the criteria for approval of a site plan.

A. Proper relationship between existing streets and highways and proposed circulation and access to and within the site and parking areas to insure the safety and convenience of pedestrian and vehicular traffic.

Internal site circulation does not include direct access to Gull Road. Cross access will be maintained with abutting properties.

It is likely that loading/unloading will occur behind the building, however, it is not labeled.
* Applicant should speak to loading/unloading plans *

Parking complies as proposed.

If a drive-through window is proposed in the future, special exception use approval will be sought.

B. Impacts on adjacent properties and neighborhood are minimized

The proposed use is consistent with the mix of commercial development existing along Gull Road presently. Green space is provided along all the property lines except the east.

Lighting details have been provided for the pole-mounted lights and demonstrate compliance. Building-mounted light fixture details must be provided, once known but before they are placed on the building.

The dumpster will be enclosed; enclosure details have been provided in the plans.

C. Existing landscape features are preserved to provide barrier or buffer, preserve the appearance of the neighborhood, or control erosion or storm water impacts

There are no existing landscaping features to preserve.

D. Any adverse effects of the proposed development upon adjoining properties are minimized by screening, fencing, or landscaping, or setback and/or location of buildings, structures and entryways

The landscaping ordinance calls for landscaping along the property perimeter and internal parking lot landscaping.

South – frontage – a reduced 10-foot greenspace is provided with plantings required in a Type C greenspace.

East - no greenspace provided to accommodate internal site circulation needs, to match existing pavement line, and allow for shared parking with abutting parcel to the east.

West – reduced greenspace width of 14 feet provided with plantings required in a Type C greenspace when all plants are labeled and missing understory tree that is labeled but not shown is provided. When adjacent parcel's greenspace is considered, the green strip will be 24 feet wide along the common property line.

North – abutting apartment development – Type D greenspace is required. Trees comply with the planting requirements but the required 26 shrubs are not shown.

Internal – Internal parking lot landscaping does not meet the required square footage and plants (1,550 square feet/minimum island area of 300 square feet/1 canopy tree and 2 low growing shrubs per 300 square feet).

*** Applicant will speak to the landscaping proposal. ***

E. All provisions of the Zoning Ordinance are complied with unless otherwise granted a variance

The proposed development complies with all provisions of the Zoning Ordinance with the exception of landscaping that the Planning Commission may modify.

F. The height and location of all portions of the proposed development are accessible to emergency vehicles and equipment

The Fire Marshal is reviewing the revised site plan.

G. The plan will not result in any additional run off onto adjoining property

Storm water will be managed on-site.

The Township Engineer has reviewed the site plan, his comments have been shared with the applicant's engineer and the revised plans addressing his initial comments are being reviewed.

H. The plan is consistent with the intent and purpose of zoning to promote public health, safety, morals, and general welfare...

The proposed development is consistent with the public health, safety, morals, and welfare, as well as with the intent and purpose of the B-2, Community Business District.

I. The plan is consistent with the groundwater protection standards in Section 4.18 of the Ordinance

The plan is consistent with the standards in Section 4.18 of the Ordinance. An Earth Change Permit from the Kalamazoo County Drain Commissioner will be necessary.

The Environmental Permit Checklist and Hazardous Substance Reporting Form have not been submitted.

RECOMMENDATION

The applicant is proposing a 7,800 square foot commercial building on a 1.3-acre parcel. We recommend site plan approval be granted subject to the following:

1. Landscaping shall satisfy the requirements of the Zoning Ordinance as may be modified by the Planning Commission.
2. Exterior light fixtures for the building must be submitted for Township review and approval.
3. Site plan approval is subject to the approval of the Fire Department, pursuant to adopted codes.
4. Site plan approval is subject to the review and acceptance of the Township Engineer as adequate.
5. An Earth Change permit be obtained, if required by the Kalamazoo County Drain Commissioner, and a copy provided to the Township.
6. Hazardous Substance Reporting Form and Environmental Permits Checklist must be completed and submitted.

Attachments: Application
Aerial
11"x17" set of plans
Full size Site Plan and Landscaping Plan



**CHARTER TOWNSHIP OF COMSTOCK
PLANNING & ZONING APPLICATION**

6138 King Highway, Kalamazoo MI 49048
PO Box 449, Comstock MI 49041-0449
Phone: 269-381-2360 Fax: 269-381-4328

PLEASE PRINT

PROJECT NAME AND ADDRESS: Gull Rd Retail 5601 Gull Road

APPLICANT: Owner:

Name Greg A. Dobson
Company Gull Road Equity Partners, LLC
Address 4200 West Centre Ave, Portage, MI 49024
Email gdobson@avbinc.com
Phone 269-329-3636 Fax _____
Interest in the Property Retail

Township Use:

Fee:
\$ 600

Escrow:
\$ 1,500

Date Paid:
11/4/16
cash/credit card
check # 167016

OWNER*:
Applicant

Name Derek Miller
Company Hurley & Stewart
Address 2800 south 11th st, Kalamazoo, MI
Email dmiller@hurleystewart.com
Phone 269-492-3304 Fax 269-552-4961

*If different

NATURE OF REQUEST: (Please check all the appropriate item(s))

- | | |
|-----------------------------------------------------------|------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Administrative Site Plan Review | <input type="checkbox"/> Master Plan Amendment |
| <input checked="" type="checkbox"/> Special Exception Use | <input type="checkbox"/> Text Amendment |
| <input type="checkbox"/> Site Condominium | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Subdivision Plat Review | <input type="checkbox"/> Interpretation |
| <input type="checkbox"/> PUD/PURD/PMUD | <input type="checkbox"/> Planning Escrow |
| <input type="checkbox"/> Other: _____ | |

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): _____

Approval for site plan and construction drawings.

LEGAL DESCRIPTION OF PROPERTY (Use Attachments if Necessary): _____

on plans + attached

PARCEL NUMBER: 3907 - 06-255-055

ADDRESS OF PROPERTY: 5601 Gull Rd

PRESENT USE OF THE PROPERTY: Vacant

PRESENT ZONING: B-2 SIZE OF PROPERTY: 1.32 ac

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
_____	_____
_____	_____

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. By submitting this Planning & Zoning Application, I (we) grant permission for Comstock Township officials and agents to enter the subject property of the applicant as part of completing the reviews necessary to process the application. I (we) as Applicant(s), understand that I (we) am responsible for the reimbursement to the Township of its actual expenses in connection with my (our) application, under the Township's Escrow Fee Policy, and I (we) agree to pay such amounts under the terms of that policy.

[Signature]

Applicant's Signature

11-3-16
Date

[Signature]

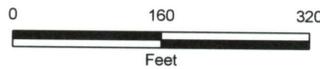
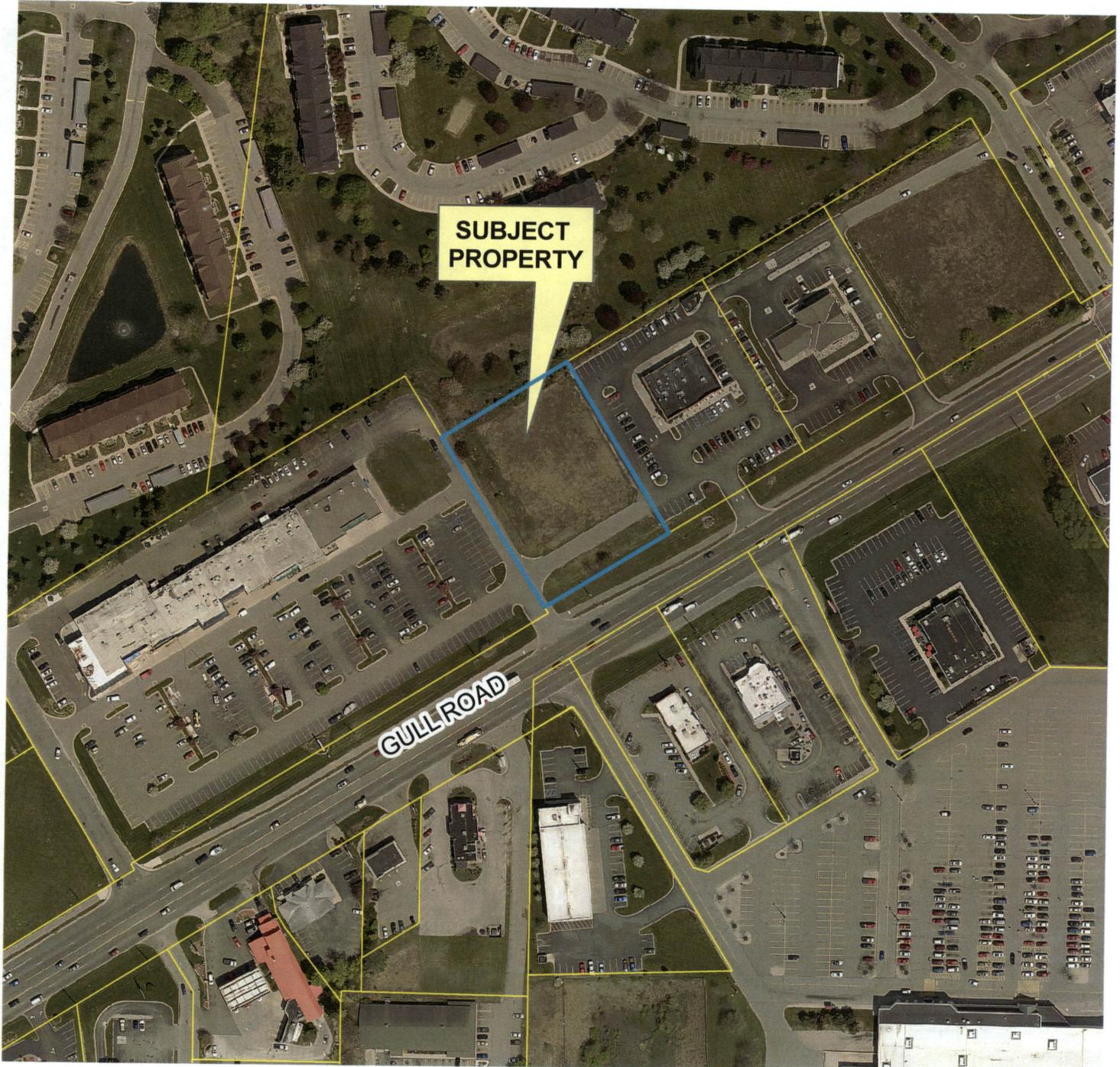
Owner's Signature authorizing submission of Application
(* If different from Applicant)

11-4-16
Date

**** PLEASE ATTACH ALL REQUIRED DOCUMENTS ****

- Copies to:
 Planning & Zoning - 1
 Applicant - 1
 Treasurer - 1
 Assessor - 1
 Administrative Assistant - Original

Comstock Charter Township
8601 Gull Road



This map is intended for reference purposes only. While it is intended to be an accurate graphic representation, its accuracy cannot be guaranteed. Therefore, neither Comstock Charter Township nor Prein&Newhof shall be held liable for its contents. Any conclusions or information derived from this map is at the users sole risk.

REVISED PLAN REVIEW

Gull Rd Retail

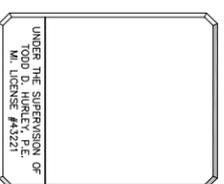
5601 Gull Road
Comstock Twp
Kalamazoo County, MI
12/2/16

OWNER

GULL ROAD EQUITY PARTNERS, LLC
4200 WEST CENTRE AVE
PORTAGE, MI 49024

PLANS PREPARED BY:

hurley & stewart, llc
2800 south 11th street
kalamazoo, michigan 49009
269.552.4960 fax 552.4961
www.hurleystewart.com



UTILITY CONTACTS:

CONSUMERS ENERGY CO.
JESSE BURNS STREET
2500 E. CORK STREET
KALAMAZOO, MI 49001
269.337.2311

ELECTRIC

CONSUMERS ENERGY CO.
STEVEN WEEKLY
2500 E. CORK STREET
KALAMAZOO, MI 49001
810.760-3263

GAS

CITY OF KALAMAZOO
STEVE SKALSKI/RYAN STOUTHTON
415 STOCKBRIDGE AVENUE
KALAMAZOO, MI 49001
269.337.8736

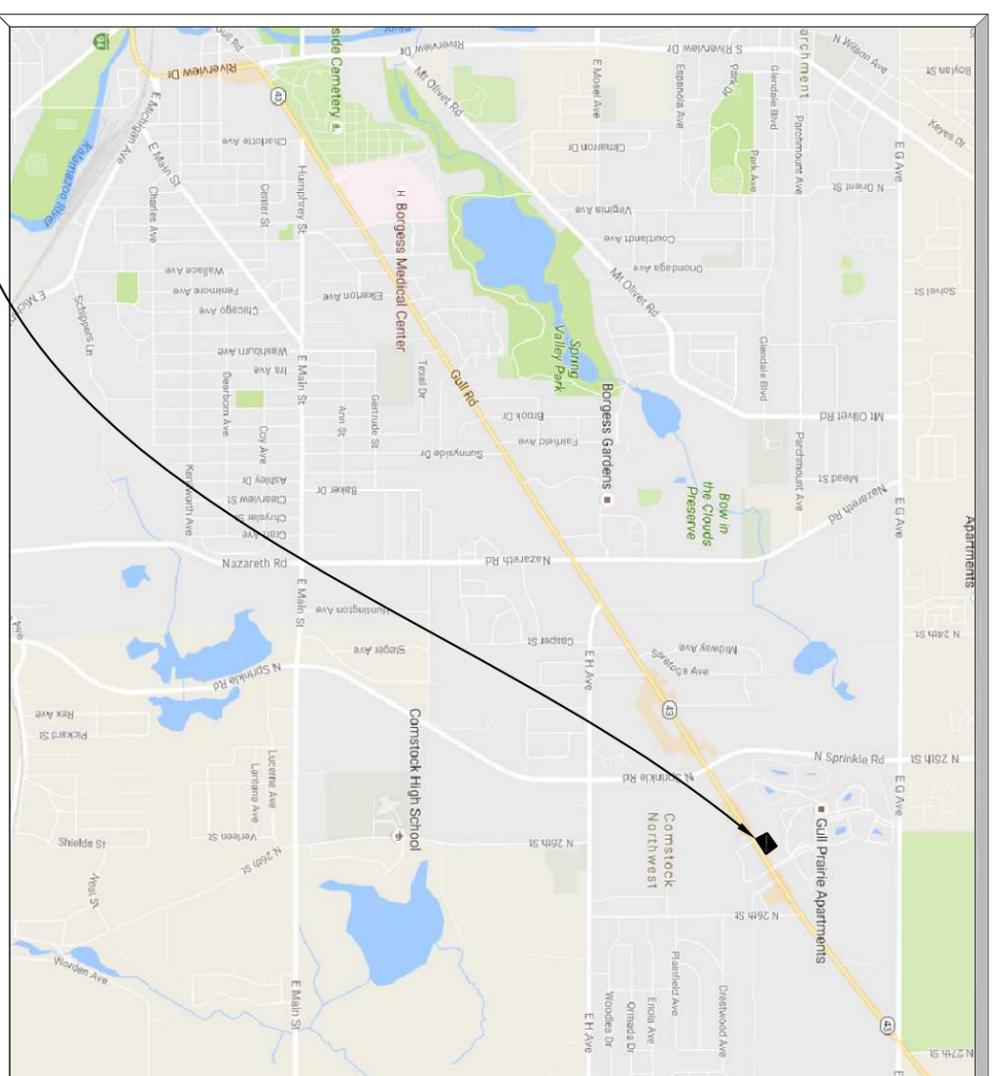
WATER/SANITARY

CHARTER
TELEPHONE/CABLE
2919 MILCORK ST
KALAMAZOO, MI 49001
269.625.7403

TELEPHONE/CABLE

COMCAST
1(800)391-3000

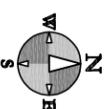
CABLE TV



PROJECT LOCATION

SITE LOCATION MAP

SCALE: 1" = 500'



DRAWING INDEX

SHT #	DESCRIPTION
C-0	TITLE SHEET
C-1	EXISTING CONDITIONS - DEMOLITION PLAN
C-2	SITE LAYOUT PLAN
C-3	GRADING PLAN
C-4	STORM AND UTILITIES PLAN
C-5	SITE AND LANDSCAPE DETAILS
C-6	UTILITY DETAILS
L-1	LANDSCAPE PLAN
ES-100	ELECTRICAL SITE PLAN
A	421 DUMPSTER DETAILS

PRELIMINARY
NOT FOR CONSTRUCTION

EXISTING TOPOGRAPHY PROVIDED BY GARR AND ASSOCIATES LAND SURVEYING. ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL RECORDS. THE LOCATION OF UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHOULD BE ASSURED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

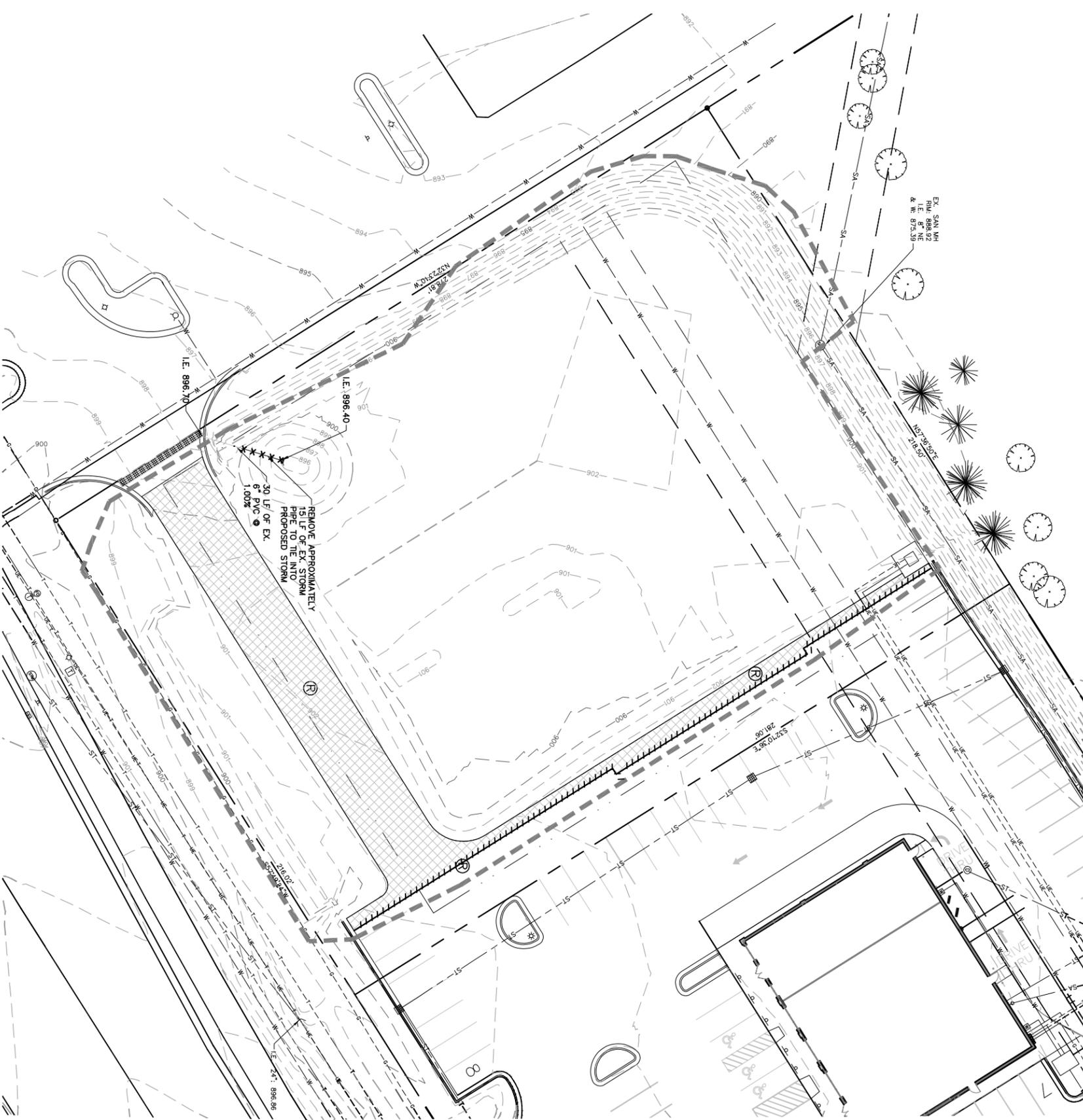


Know what's below.
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ISSUED FOR:
REVISED PLAN REVIEW
12/2/16

REMOVAL NOTES

1. REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DWP LINE.
2. SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
3. ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
4. COMPLY WITH ALL ASPECTS OF THE SOIL EROSION CONTROL PERMIT AS ISSUED BY COMSTOCK TOWNSHIP. ALL TEMPORARY CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
5. ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
6. REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
7. REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
8. REVIEW CLEARING LIMITS WITH OWNER PRIOR TO COMMENCING WORK. PRESERVE TREES WHERE INDICATED.
9. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
10. FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION UTILITY LOCATING WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

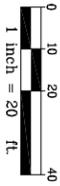


REMOVALS LEGEND

- CURB REMOVAL
- ||||| SAWCUT
- ▨ PAVEMENT/SIDEWALK REMOVAL
- ▩ BUILDING DEMOLITION
- ***** UTILITY LINE REMOVAL
- TREE REMOVAL
- Ⓡ REMOVE
- Ⓢ SALVAGE
- LIMITS OF CONSTRUCTION



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS. VERIFY ALL UTILITIES AND RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES UNDER THE EARTH.
FIELD WORK PERFORMED BY:
LANDTECH PROFESSIONAL SURVEYING



Sheet Title: **EXISTING CONDITIONS - DEMOLITION PLAN**
GULL RD RETAIL
AVB

Project:
 Client:

11/29/16
 Sheet
C-1

Job No.: 16-035D P.M.TDH Drt: DJM QA/QC: 11/2/16

ISSUED FOR/REVISIONS:

1	CONCEPTUAL REVIEW	09/29/16
2	OWNER REVIEW	10/24/16
3	PLAN REVIEW	11/2/16
4	REVISED PLAN REVIEW	12/2/16

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 Kalamazoo, michigan 49009
 269.552.4960 fax 269.552.4961
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NOTES

1. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF METAL.
2. PROVIDE CURB CUTS/RAMPS AT ALL BARRIER FREE ACCESS POINTS.
3. PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND MICHIGAN BARRIER FREE CODE.
4. SEE LANDSCAPE PLANS FOR HARDSCAPE, DETAILED GRADING IN LANDSCAPED AREAS AND SIGNAGE.
5. MATCH EXISTING CURB & GUTTER SECTIONS WHEN CONNECTING TO THEM. CONDITIONS VARY THROUGHOUT PROJECT.
6. ALL SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
7. LIGHT STANDARDS AND UTILITY POLES TO BE LOCATED A MINIMUM OF FIVE FEET FROM BACK-OF-CURB.
8. EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2012 EDITION.
9. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
10. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
11. ALL EXTERIOR CONCRETE SHALL BE MOOT GRADE P1 (3500PSI), AIR ENTRAINED, LIMESTONE AGGREGATE, BROOM FINISHED, CURING SEAL.
12. INSTALL 3200 SERIES OR LARGER KNOX BOX FOR BUILDING AND FOR RESTAURANT. BOX SHALL BE MOUNTED APPROXIMATELY FIVE FEET FROM THE GROUND NEAR MAIN ACCESS DOOR.
13. INSTALL ADDRESS NUMBERS IN POSITION TO BE PLAINLY LEGIBLE AND VISIBLE.

ZONING REQUIREMENTS

ZONING
THE SITE IS ZONED B-2, COMMUNITY BUSINESS DISTRICT

PROPOSED USE
COMMERCIAL

PARKING

REQUIRED TOTAL PARKING PER ORDINANCE = 1 SPACE / 150 SFT + 1 PER 2 EMPLOYEES
 TOTAL PARKING REQUIRED PER ORDINANCE = (7,800/150) + (23 EMPLOYEES/2) = 65 SPACES
 PROVIDED TOTAL PARKING PROVIDED = 62 SPACES
 BARRIER FREE SPACES = 4 PROVIDED
 ALL BARRIER FREE SPACES DESIGNED PER ADA REQUIREMENTS
 TYPICAL PARKING SPACE DIMENSION = 9.5'x20'

SETBACKS

FRONT=40', REAR=20', SIDES=10'

HEIGHT

23 FEET

LAND USE

PARCEL = 1.32 AC
 PAVEMENT = 0.88 AC 67%
 GRASS = 0.25 AC 19%

CONSTRUCTION TYPE

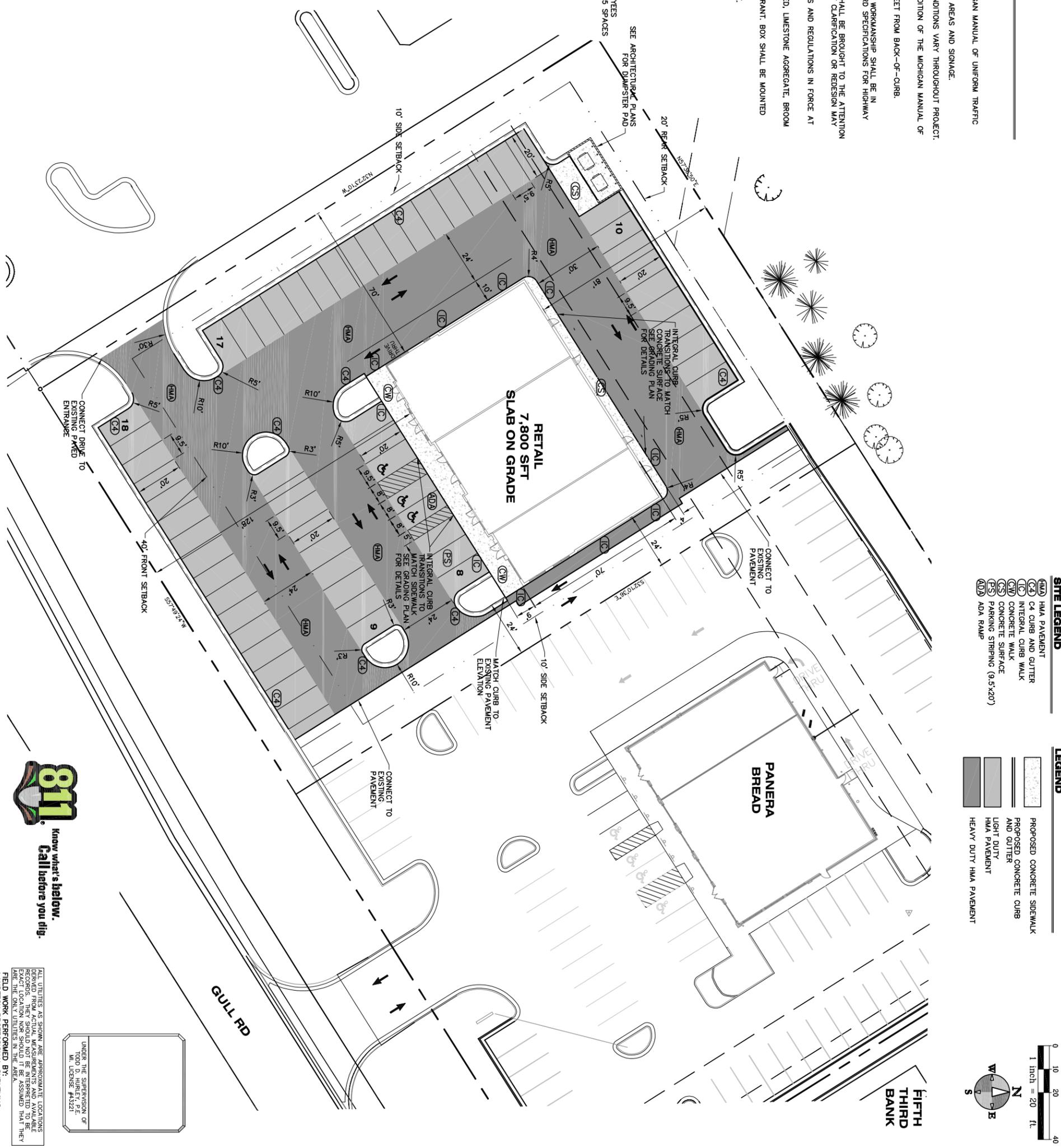
58

OWNER

GULL ROAD EQUITY PARTNERS
 4200 W. CENTRE AVE.
 PORTAGE, MI 49024

PROPERTY DESCRIPTION

SEC 6-2-10 COMMENCING AT THE EAST 1/4 POST OF SECTION 6, T. 2 S., R. 10 W., COMSTOCK TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN, THENCE NORTH 07-16-58 WEST ALONG THE EAST LINE OF SAID SECTION, 1,273.99 FEET TO THE NORTHERLY RIGHT-OF-WAY OF GULL ROAD (W4.51 HWY 2), THENCE ALONG SAID RIGHT-OF-WAY OF GULL ROAD (W4.51 HWY 2) SOUTHWESTERLY TO THE RIGHT WITH A RADIUS OF 7,569.49 FEET AND A CHORD BEARING SOUTH 56R-03-07 WEST, 467.98 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY SOUTH 57R-49-24 WEST, 154.83 FEET; THENCE CONTINUING SOUTH 57R-49-24 WEST ALONG SAID RIGHT-OF-WAY, 1,124.81 FEET TO THE PLACE OF BEGINNING OF THE LAND HEREINAFTER DESCRIBED; THENCE CONTINUING NORTH 32R-23-10 WEST SOUTH 57R-49-24 WEST, 204.15 FEET; THENCE NORTH 32R-23-10 WEST SOUTH 57R-49-24 WEST, 204.15 FEET; THENCE NORTH 20S.13 FEET; THENCE SOUTH 32R-11-10 EAST, 281.06 FEET TO THE PLACE OF BEGINNING, CONTAINING 1.32 ACRES, 2007 ROLL - SPLIT ON 05/30/2006 FROM 07-06-255-046 INTO 07-06-255-051, 07-06-255-052, 07-06-255-053 & 07-06-255-055;



SITE LEGEND

- (HMA) HMA PAVEMENT
- (C4) C4 CURB AND GUTTER
- (IC) INTEGRAL CURB WALK
- (CW) CONCRETE WALK
- (CS) CONCRETE SURFACE
- (PS) PARKING STRIPING (9.5'x20')
- (AD) ADA RAMP

LEGEND

- PROPOSED CONCRETE SIDEWALK AND GUTTER
- PROPOSED CONCRETE CURB
- LIGHT DUTY HMA PAVEMENT
- HEAVY DUTY HMA PAVEMENT



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UNDER THE SUPERVISION OF
 M.I. LICENSE #A3221

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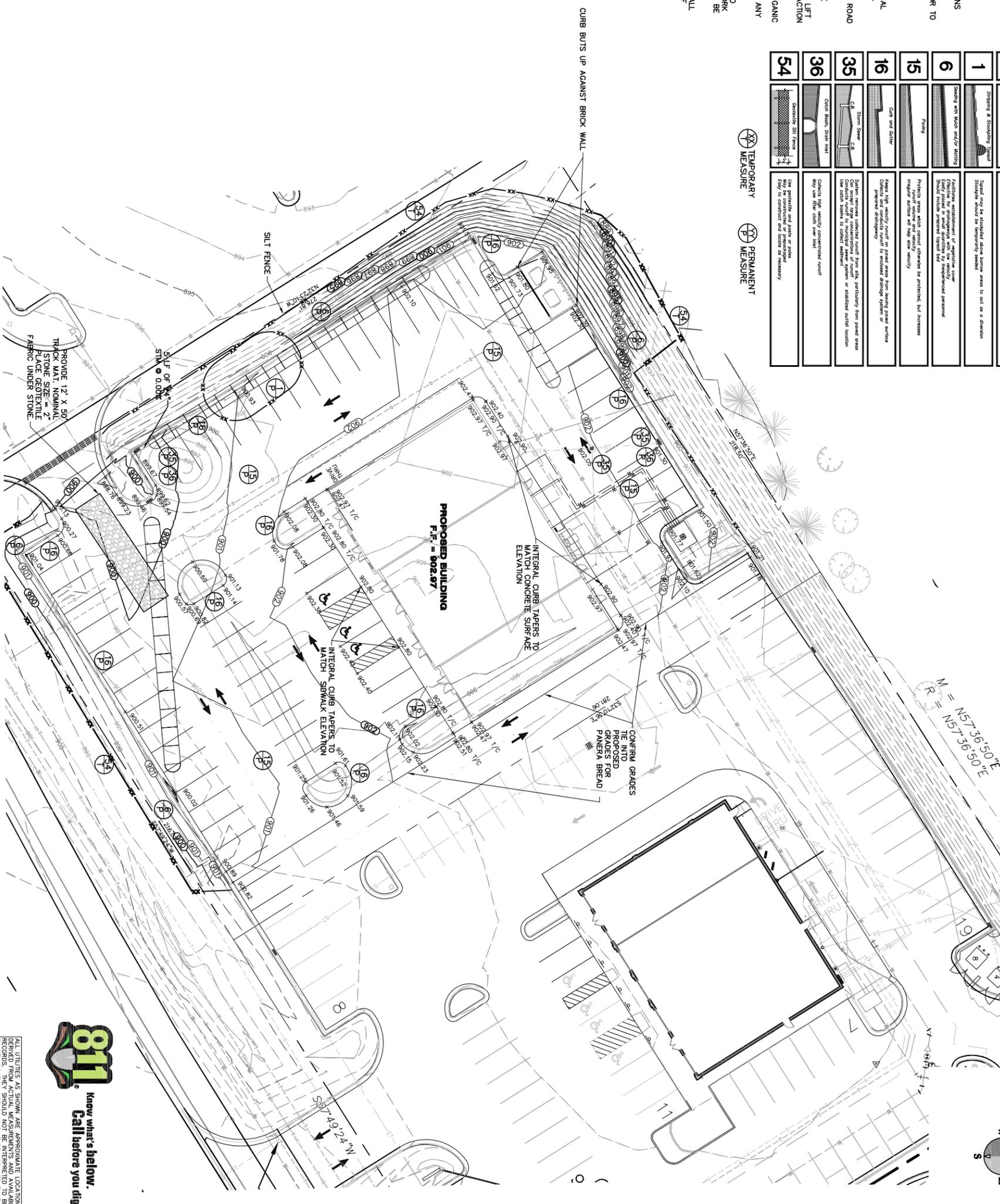
<p>Sheet Title: SITE LAYOUT PLAN GULL RD RETAIL AVB</p> <p>Project: C-2</p> <p>Client:</p>	<p>Job No. 16-035D P.M.:TDH Drt: DJM QA/QC: 11/2/16</p> <p>ISSUED FOR/REVISIONS:</p> <table border="1" style="margin: auto;"> <tr><td>1</td><td>CONCEPTUAL REVIEW</td><td>09/29/16</td></tr> <tr><td>2</td><td>OWNER REVIEW</td><td>10/24/16</td></tr> <tr><td>3</td><td>PLAN REVIEW</td><td>11/2/16</td></tr> <tr><td>4</td><td>REVISED PLAN REVIEW</td><td>12/2/16</td></tr> </table> <p>COPYRIGHT © of Hurley & Stewart, LLC</p>	1	CONCEPTUAL REVIEW	09/29/16	2	OWNER REVIEW	10/24/16	3	PLAN REVIEW	11/2/16	4	REVISED PLAN REVIEW	12/2/16	<p>hurley & stewart</p>	<p>hurley & stewart, llc 2800 south 11th street Kalamazoo, michigan 49009 269.552.4960 fax 269.552.4961 www.hurleystewart.com</p>
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GRADING NOTES

1. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN. MATCH AT 1 ON 2 IF NOT LABELED.
2. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
3. ALL SPOT ELEVATIONS ARE TOP OF PAYMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
4. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
5. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.
6. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
7. REMOVE AND REPLACE WITH CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
8. ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
9. ALL GRANULAR FILL UNDER THE INFLUENCE OF THE ROADWAY AND PROCESSED ROAD GRAVEL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
10. ALL COMPACTION SHALL BE ACCOMPLISHED BY PLACING THE FILL IN 12" LOOSE LIFTS AND MECHANICALLY COMPACTING EACH LIFT TO AT LEAST THE SPECIFIED MINIMUM DRY DENSITY. FIELD DENSITY TESTS SHOULD BE PERFORMED ON EACH LIFT TO ENSURE THAT ADEQUATE MOISTURE CONDITIONS AND COMPACTION ARE BEING ACHIEVED.
11. SITE CONTRACTOR SHALL REMOVE AND STOCKPILE ALL TOPSOIL AND BLACK ORGANIC SOILS ON-SITE TO BE USED IN THE REGRADING OF LANDSCAPE AREAS. THIS MATERIAL IS NOT TO BE USED FOR FILL OR PAYMENT SUBBASE. REMOVAL OF ANY EXCESS SOIL OFF-SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
12. CONTRACTOR RESPONSIBLE FOR SETTING EARTHWORK CALCULATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY EARTHWORK BE PAID FOR BY OWNER. EARTHWORK HAS BEGUN. ANY DISCREPANCIES WITH THE EARTHWORK CALCULATIONS SHALL BE REVIEWED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
13. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

KEY	DETAIL	CHARACTERISTICS
1	Stripping & Stacking Form	Typical may be substituted above surface areas to act as a diversion. Stacking should be temporary needed.
6	Seeding with Auto out/Gr Matting	Facilitates establishment of vegetative cover. Erosion control matting should be installed prior to final grading. Seeding should include preseed topsoil bed.
15	Pinning	Protects areas which cannot otherwise be protected, but increases irregular surface will help slow velocity.
16	Curb and Gutter	Keeps high velocity runoff on paved areas from leaving paved surface. Curb and gutter runoff to enclosed drainage system or approved alternative.
35	Stem Sewer	Systems remove sediment runoff from site particularly from paved areas. Clean catchers (trap concentrations of runoff) or sediment outlet location. Use catch basins to collect sediment.
36	Catch Basins, Storm Inlet	Collect high velocity concentrated runoff. May use filter cloth over inlet.
54	Gravelled Silt Fence	Use gravelled and geotextile fabric. May be constructed of precast concrete or stone on temporary. Easy to construct and store on temporary.



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FIELD WORK PERFORMED BY:
LANDTECH PROFESSIONAL SURVEYING

<p>C-3 Sheet 11/29/16</p>	<p>Sheet Title: GRADING PLAN GULL RD RETAIL AVB</p>	<p>Job No. 16-035D P.M.TDH Drt: DJM QA/QC: 11/2/16 ISSUED FOR/REVISIONS: 1 CONCEPTUAL REVIEW 09/29/16 2 OWNER REVIEW 10/24/16 3 PLAN REVIEW 11/2/16 4 REVISED PLAN REVIEW 12/2/16</p>	<p>hurley & stewart 2800 south 11th street Kalamazoo, michigan 49009 269.552.4960 fax 269.552.4961 www.hurleystewart.com</p>
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UTILITY NOTES

1. PLACE SANITARY CLEANOUT EVERY 100' AND/OR AT BENDS ON ALL 6" SANITARY SEWER LEADS.
2. ALL STRUCTURE CASTINGS TO BE EAST JORDAN IRON WORKS OR APPROVED EQUAL. SEE STRUCTURE TABLE FOR SPECIFIC CASTING AT EACH STRUCTURE.
3. STORM SEWERS SHALL BE CONCRETE C78-III, SOLID WALL ADS N-12 RIGID PIPE MEETING AASHTO M-294, TYPE S, OR APPROVED EQUAL INSTALLED PER THE REQUIREMENTS OF MDOT AND CITY OF KALAMAZOO. MANDREL TESTING SHALL BE PERFORMED PRIOR TO PAVING. USE CONCRETE PIPE WHERE INDICATED.
4. ALL WATER MAIN INSTALLED IN GROUNDWATER SHALL BE WRAPPED WITH POLYETHYLENE.
5. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
6. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR GROUNDWATER AND SOILS INFORMATION. ANY UTILITIES REQUIRING DEWATERING SHALL BE INSTALLED TO THE CONTRACTOR TOWNSHIP STANDARDS AND INCLUDED IN THE DEWATERING SCHEDULES. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING NECESSARY TO CONSTRUCT UTILITIES IN THE DRY.
7. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
8. DEWATERING MAY BE REQUIRED TO INSTALL OR REMOVE SOME UTILITIES. REFER TO SPECIFICATIONS FOR SPECIFIC REQUIREMENTS. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
9. COORDINATE ALL UTILITY LOCATIONS AND ELEVATIONS WITH MECHANICAL DRAWINGS AND BUILDING CONTRACTOR PRIOR TO INSTALLATION.
10. REMOVE SEDIMENT FROM ALL STRUCTURES ONCE PAVING IS COMPLETE AND REMOVE SLT SACKS.
11. VERIFY NUMBER OF FITTINGS PRIOR TO ORDERING. TOTALS DO NOT INCLUDE VERTICAL DEFLECTIONS THAT MAY BE NEEDED.
12. PROVIDE 18" WATER MAIN SEPARATION WHEN CROSSING OTHER UTILITIES. DEFLECT UNDER OTHER UTILITIES W/O USING FITTINGS WHENEVER POSSIBLE. SEE WATER MAIN PROFILE SHEET.
13. SITE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL UTILITIES TO 5' FROM BUILDING WALL.
14. WATER MAIN AND SANITARY SEWER MATERIALS AND INSTALLATION SHALL COMPLY RESPECTIVELY WITH THE CITY OF KALAMAZOO AND COMSTOCK TOWNSHIP REQUIREMENTS.
15. VERIFY LOCATION AND ELEVATION OF EXISTING SANITARY LEAD PRIOR TO ORDERING STRUCTURES AND CONSTRUCTION.
16. SEE SITE ELECTRICAL PLAN FOR LOCATION OF ALL ELECTRICAL SLEEVES AND CONDUIT.

STORM SEWER STRUCTURE SCHEDULE

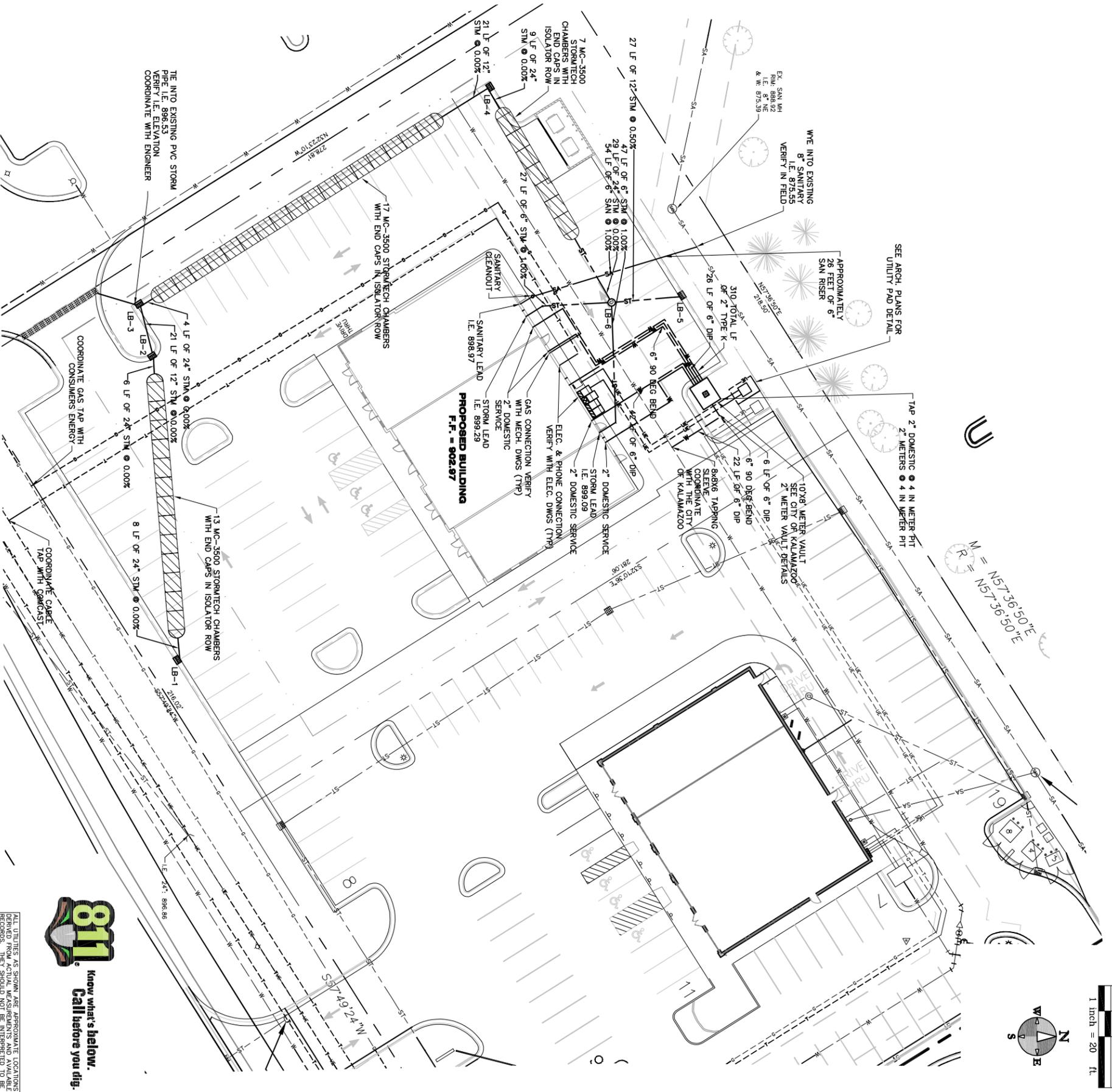
STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
•LB-1	900.02	4'	7045 M1 T1		24" W. 891.73
•LB-2	899.46	4'	7045 M1 T1	24" E. 891.73 12" W. 891.73	
•LB-3	899.70	4'	7045 M1 T1	Ek 6" S. 896.53	12" E. 891.73 24" NW. 891.73
•LB-4	901.51	4'	7045 M1 T1		12" SE. 891.73 24" NE. 891.73
•LB-5	901.30	4'	7045 M1 T1		12" S. 899.00
•LB-6	902.05	4'	1120	12" N. 898.87 6" S. 899.02 6" E. 898.61	24" SW. 891.73

* ALL LEACH BASINS TO BE AT LEAST 6' IN DEPTH

STORMTECH MC-3500 DATA

TOP OF STONE = 896.48
TOP OF CHAMBERS = 895.48
BOTTOM OF CHAMBERS = 891.73
BOTTOM OF STONE = 890.98
ALL CHAMBERS LAID FLAT

ISOLATOR ROW



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FIELD WORK PERFORMED BY:
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**STORM AND UTILITIES PLAN
GULL RD RETAIL
AVB**

Sheet Title:
Project:
Client:

C-4
11/29/16

Job No. 16-035D P.M.TDH Drt: DJM QA/QC: 11/2/16

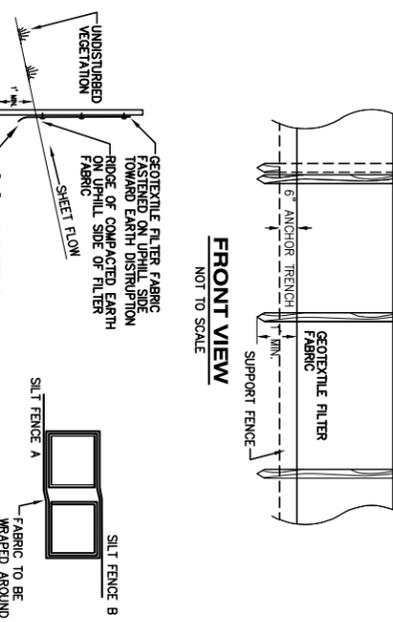
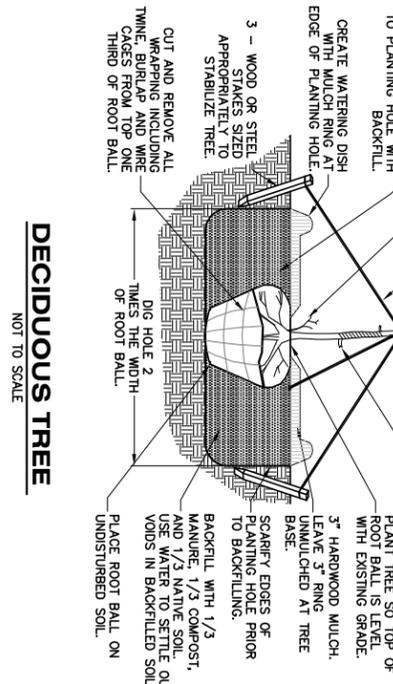
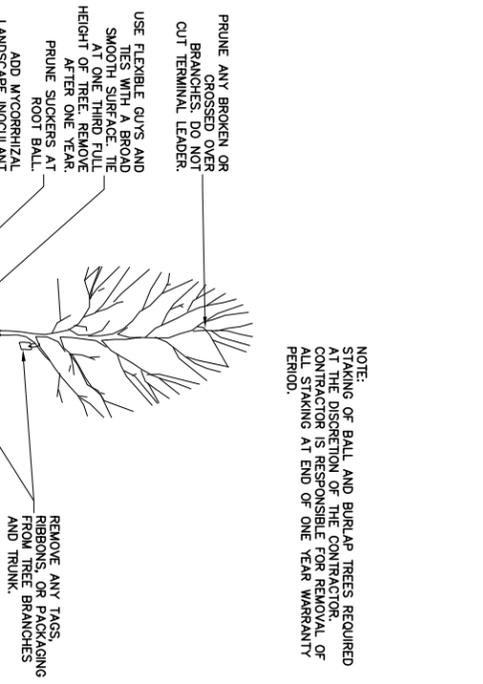
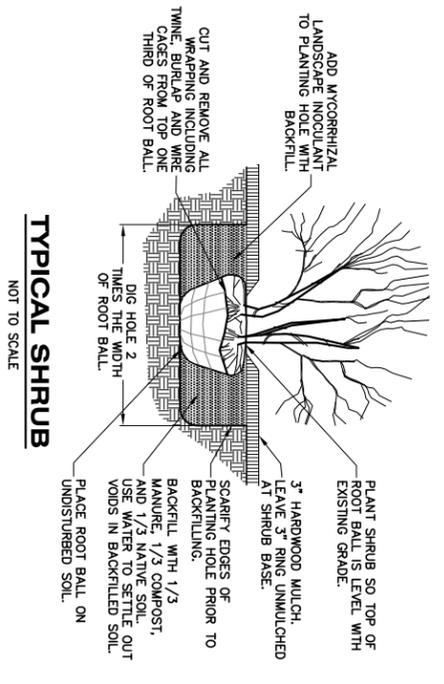
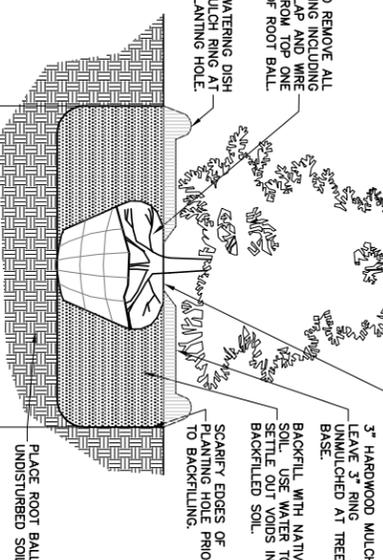
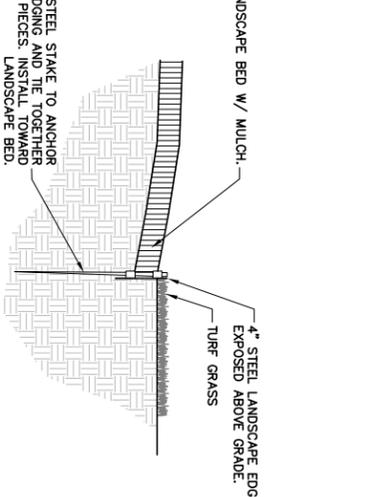
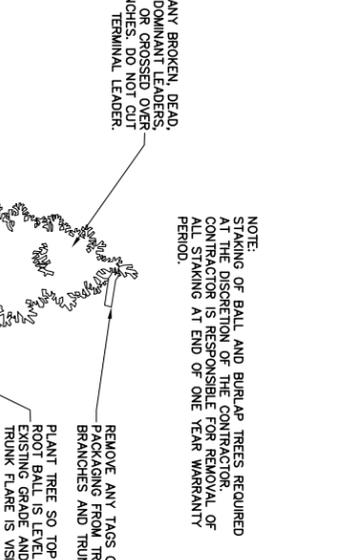
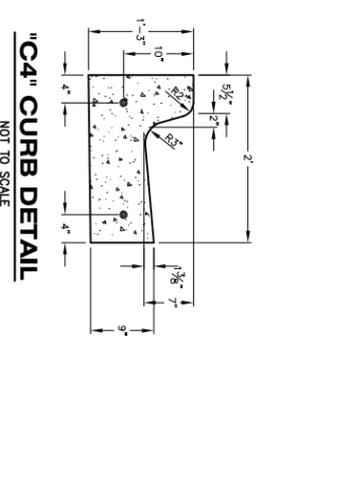
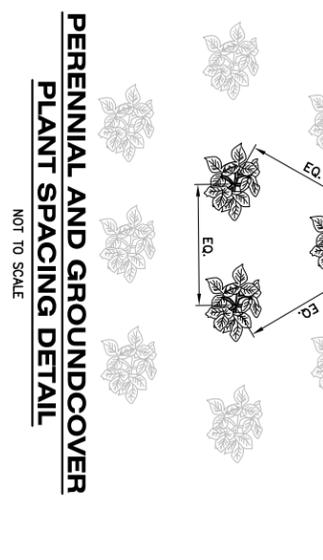
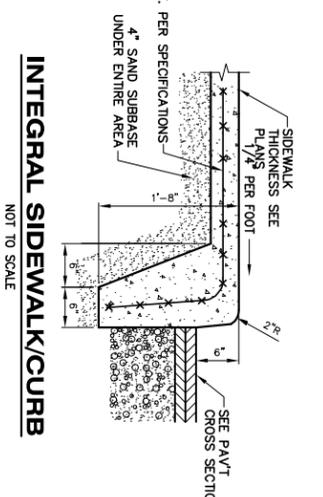
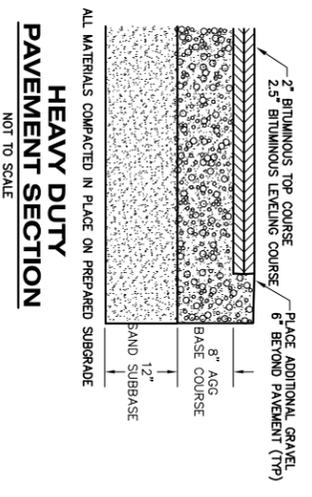
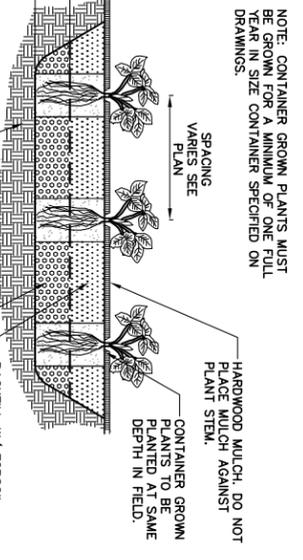
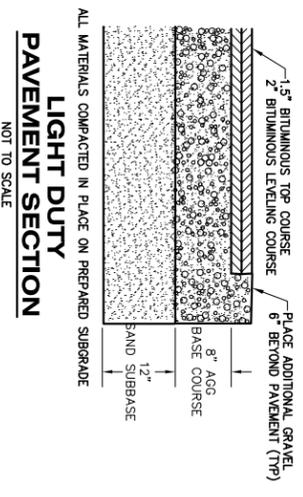
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NOTE: CONTAINER GROWN PLANTS MUST BE GROWN FOR A MINIMUM OF ONE FULL YEAR IN SIZE CONTAINER SPECIFIED ON DRAWINGS.

NOTE: STAKING OF BALL AND BURLAP TREES REQUIRED AT THE DISCRETION OF THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL STAKING AT END OF ONE YEAR WARRANTY PERIOD.

NOTE: STAKING OF BALL AND BURLAP TREES REQUIRED AT THE DISCRETION OF THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL STAKING AT END OF ONE YEAR WARRANTY PERIOD.

SECTION NOT TO SCALE

JOINT DETAIL NOT TO SCALE

SITE AND LANDSCAPE DETAILS
GULL RD RETAIL
AVB

Job No. 16-035D	P.M.:TDH	Drft: DJM	QA/QC: 11/2/16
ISSUED FOR REVISIONS:			
1	CONCEPTUAL REVIEW	09/29/16	
2	OWNER REVIEW	10/24/16	
3	PLAN REVIEW	11/2/16	
4	REVISED PLAN REVIEW	12/2/16	

hurley & stewart, llc
2800 south 11th street
Kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com

COMSTOCK PLANTING REQUIREMENTS

- INTERIOR LANDSCAPE 25 SF / SPACE 1550 SF REQUIRED
 1,800 SF PROVIDED
 1 CANOPY TREES / 2 SHRUBS / 300 SF OF REQUIRED INTERIOR LANDSCAPE
 SOUTH GREENSPACE 4 CANOPY TREES 7 UNDERSTORY TREES AND 9 SHRUBS
 WEST GREENSPACE 5 CANOPY TREES 8 UNDERSTORY TREES AND 11 SHRUBS
 NORTH GREENSPACE 7 CANOPY TREES 13 UNDERSTORY TREES, 28 SHRUBS, AND 4
 EVERGREEN TREES
 REQUEST REDUCTION OF PLANTINGS BY 12 SHRUBS AND 13 UNDERSTORY TREES DUE TO
 HEAVY PLANTING ON ADJACENT PROPERTY AND GRADE CHANGE BETWEEN PROPERTIES.

LANDSCAPE NOTES:

- ALL LAWN AREAS SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: 20% IMPROVED PERENNIAL Ryegrass, 40% FINE FESCUE, AND 40% KENTUCKY BLUEGRASS AT A RATE OF 8-10 LBS/1000 SFT. PROVIDE 19-19-19 STARTER FERTILIZER AT A RATE OF 5-7 LBS/1000 SFT.
- EDGING SHALL BE STANDARD COMMERCIAL-STEEL EDGING 3/4" X 4" ALUMINUM FABRICATED IN SECTIONS OF STANDARD LENGTHS WITH LOOPS STAMPED FROM OR WELDED TO FACE OF SECTIONS TO RECEIVE STAKES IN STANDARD FINISH OF GREEN PAINT.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANS 280.1 AMERICAN STANDARD FOR NURSERY STOCK. MEASURE ACCORDING TO ANSI Z601.3 STANDARDS. AND PERENNIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLETE AND MAINTAIN REQUIREMENTS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING AND WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY Viable PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
- BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED. BEGIN CONSUME LAWN CARE WHEN LAWN IS ESTABLISHED. A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, USING CHEMICAL TREATMENT TO ELIMINATE BROADLEAF AND NOXIOUS WEEDS, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLAY BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORM, SMOOTH LAWN.
- PROJECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, DRIVEWAYS AND DRIVEWAYS TO BE PROTECTED FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
- REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND REMOVE STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER FROM SITE.
- MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SQFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.

LEGEND

- NUMBER AND TYPE OF PLANTS TO BE PROVIDED AND INSTALLED.
- PROPOSED DECIDUOUS TREE
- PROPOSED SHRUBS, EVERGREEN AND DECIDUOUS
- PROPOSED ORNAMENTAL GRASS
- STEEL LANDSCAPE EDGING.

Planting Schedule Trees

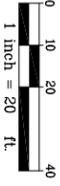
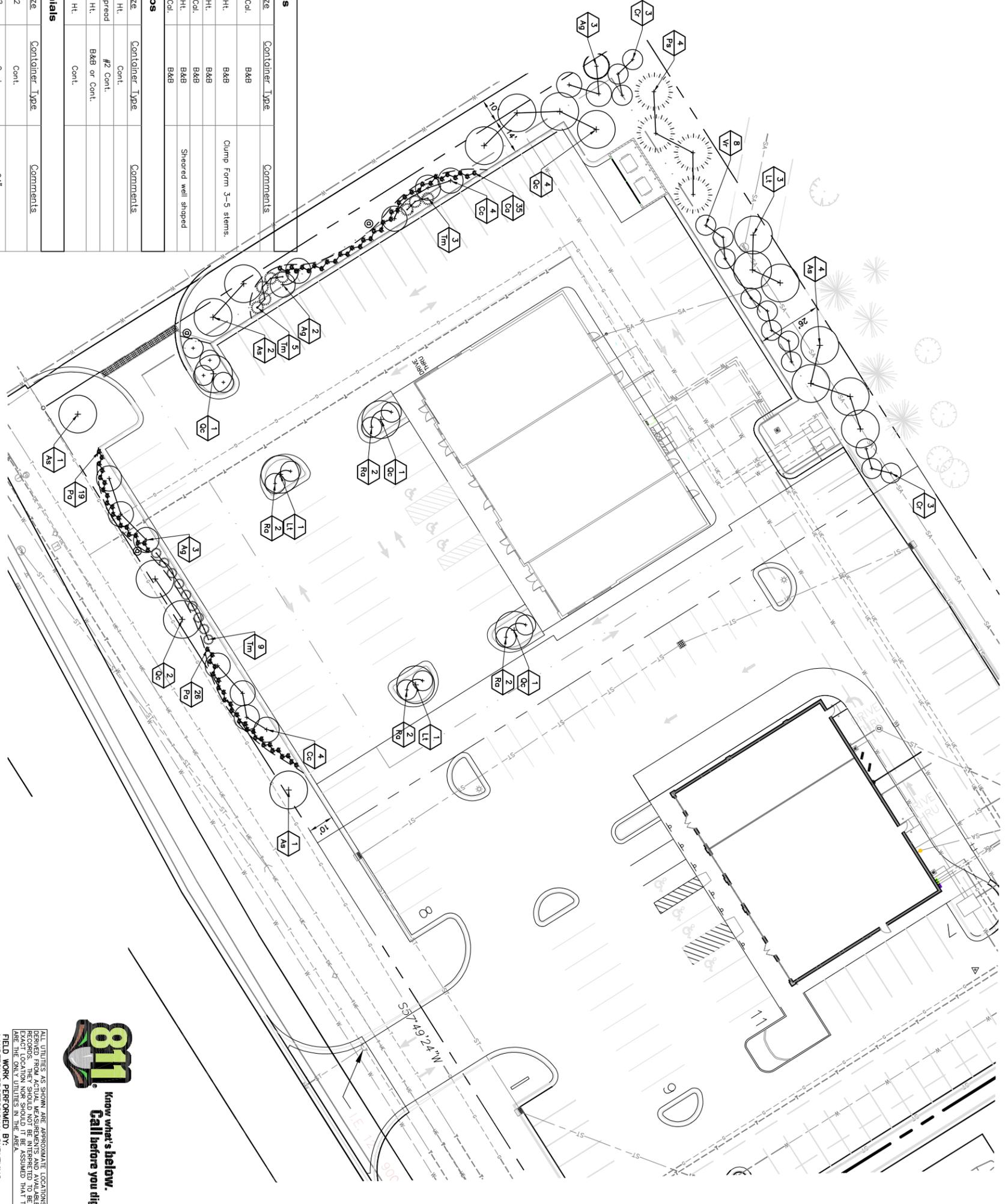
Symbol	Latin Name	Common Name	Size	Container Type	Comments
As	Acer saccharum 'Commemoration' or Legacy	Commemoration or Legacy Sugar Maple	2" Cal.	B&B	
Ag	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' Ht.	B&B	Cump Form 3-5 stems
Cc	Cercis canadensis	Redbud	8' Ht.	B&B	
Lt	Liriodendron tulipifera	Tulip Tree	2" Cal.	B&B	
Ps	Pinus strobus	Eastern White Pine	5' Ht.	B&B	Sheared well shaped
Qc	Quercus coccinea	Scarlet Oak	2" Cal.	B&B	

Planting Schedule Shrubs

Symbol	Latin Name	Common Name	Size	Container Type	Comments
Cr	Cornus racemosa	Groby Dogwood	24" Ht.	Cont.	
Ra	Rhus aromatica 'Grow-Low'	Grow Low Fragrant Sumac	24" spread	#2 Cont.	
Tm	Toxus x media 'Danstiformis'	Dense Spreading Yew	18" Ht.	B&B or Cont.	
Vr	Viburnum x rhytidophylloides Allegheny	Allegheny Viburnum	36" Ht.	Cont.	

Planting Schedule Perennials

Symbol	Latin Name	Common Name	Size	Container Type	Comments
Ca	Colmogorotis x oculiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#2	Cont.	
Po	Pennisetum alopecuroides 'Hameln'	Fountain Grass 'Hameln'	#2	Cont.	24" o.c.



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM RECORD DRAWINGS AND FIELD SURVEY RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY FIELD WORK PERFORMED BY LAND TECH PROFESSIONAL SURVEYING

Sheet Title: **LANDSCAPE PLAN GULL RD RETAIL AVB**
 Project:
 Client:

Job No. 16-035D	P.M. TDH	Drt: DJM	QA/QC: 11/2/16
ISSUED FOR REVISIONS:			
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GENERAL ELECTRICAL LIGHTING NOTES

- ALL CONDUITS SHALL RUN AS TIGHT AS POSSIBLE. CONDUIT SHALL BE RUN IN A NEAT MANNER, MAINTAIN THE SAME BOXES OVER LAY-IN CEILING AND USE BENT DROPS DOWN TO CLOUDS. LOCATE CONDUIT DROPS TO CLOUDS, AND CEILING ELEMENTS IN LEAST VISIBLE LOCATION. NO MC CABLE TO LIGHT FIXTURES SHALL BE VISIBLE FROM ANY ANGLE.

GENERAL ELECTRICAL POWER NOTES

- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR NEW WORK OR WHERE DEVICES ARE REMOVED AND NOT REPLACED.
- PROVIDE FINAL CONNECTION TO ALL OWNER/CONTRACTOR PROVIDED EQUIPMENT. COORDINATE RECEPTACLE SIZES AND TYPE WITH EQUIPMENT. ADJUST CIRCUIT SIZE AS REQUIRED.
- PATCH ALL PENETRATIONS AS REQUIRED TO MAINTAIN FIRE RATING.
- REFER TO INTERIOR ELEVATIONS, SECTIONS, ARCHITECTURAL ELEVATIONS AND RELATED DRAWINGS FOR EXACT DEVICE LOCATIONS AND MOUNTING HEIGHTS. WHERE DEVICES ARE MOUNTED UNDER OR ABOVE TACK BOARDS, DOORS, WINDOWS, OR ANY PIECE OF EQUIPMENT, THE ELECTRICAL DEVICE SHALL BE CENTERED AS SHOWN. COORDINATE LOCATION OF TURNOUT CONNECTIONS AND/OR RECEPTACLES AND DATA RACKS WITH APPROVED ARCHITECTURAL DRAWINGS. FINAL CONNECTIONS TO TURNOUTS BY ELECTRICAL CONTRACTOR.
- ALL CONDUITS SHALL RUN AS NEAR TO DECK AS PERMITTED BY THE DECK MANUFACTURER. CONDUITS SHALL BE DISPATCHED WITHIN A NEAT MANNER. CONDUITS SHALL BE DISPATCHED WITHIN CONDUIT RUN TOGETHER. CONDUIT JUNCTION BOXES OVER LAY-IN CEILING AND USE BENT DROPS DOWN TO CLOUDS. LOCATE CONDUIT DROPS TO CLOUDS AND CEILING ELEMENTS IN LEAST VISIBLE LOCATION.

ELECTRICAL KEYED NOTES

- PROVIDE PAD FOR UTILITY COMPANY INSTALLED PAD MOUNTED TRANSFORMER. COORDINATE WITH UTILITY REQUIREMENTS, PROVIDE SECONDARY CONDUCTORS, CONDUITS AND CT CABINET. PROVIDE CONDUIT STUD 5' OUT FROM PAD FOR PRIMARY CONDUCTORS.
- CONNECT TO EMERGENCY EXTERIOR LIGHTING INVERTER.
- EXTERIOR LIGHT FIXTURES TO BE CONTROLLED BY PHOTOCELL VIA NEMA 3R TIME/CONTRACTOR.

ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION	MOUNTING HEIGHTS
S	SINGLE POLE SWITCH	40"
S1	THREE WAY SWITCH	40"
HO	WALL MTD. LIGHT FIXTURE	
○	DOWNLIGHT FIXTURE	
⊙	EXIT SIGN - CEILING MOUNTED	
⊙	EXIT SIGN - WALL MOUNTED	
⊙	EXTERIOR POLE LIGHT	
⊙	PHOTOCONTROL	
⊙	RECEPTACLE SYMBOLS	15"
⊙	DUPLEX RECEPTACLE	15"
⊙	DUPLEX RECEPTACLE - WITH GFI	24"
⊙	DOUBLE DUPLEX RECEPTACLE	
⊙	DUPLEX RECEPTACLE - WITH GFI	
⊙	SPECIAL PURPOSE RECEPTACLE	15"
⊙	POWER SYMBOLS	
⊙	SURGE PROTECTION DEVICE	
⊙	PANELBOARD	72" TO TOP
⊙	DISTRIBUTION PANELBOARD	72" TO TOP
⊙	DISCONNECT SWITCH - UNFUSED	
⊙	DISCONNECT SWITCH - FUSED	
⊙	BUSBAR/MAIN 350V W/150A	
⊙	TRANSFORMER	
⊙	SYSTEM GROUND - REFER TO SPECIFICATIONS	
⊙	LIGHTING CONTRACTOR	
⊙	JUNCTION BOX - SIZE AND TYPE AS REQUIRED	
⊙	FLUSH IN-GRADE HAND HOLE	

MOUNT DEVICES AT HEIGHTS INDICATED UNLESS INDICATED OTHERWISE ON PLANS. HEIGHTS ARE TO BOTTOM OF DEVICE.

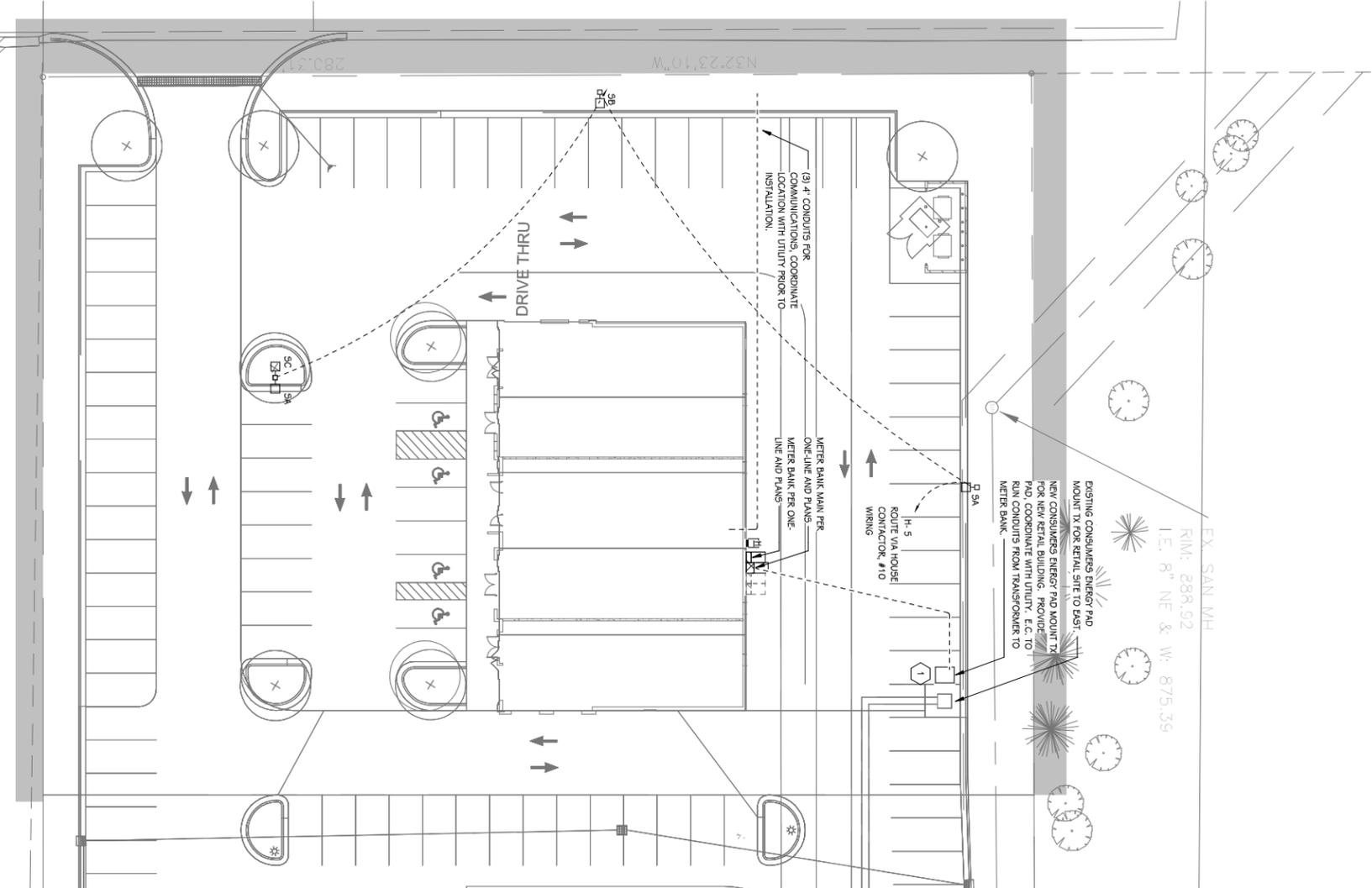
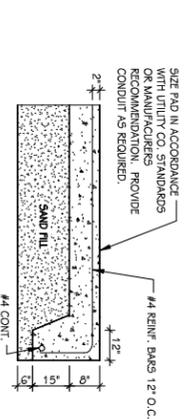
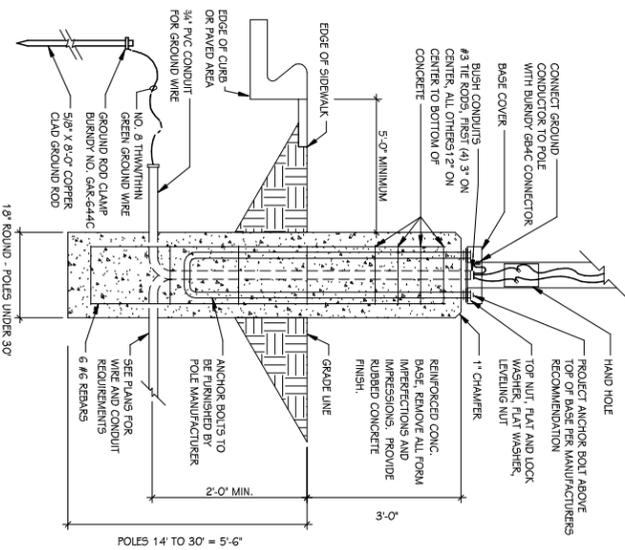
EXTERIOR LIGHTING CALCULATIONS

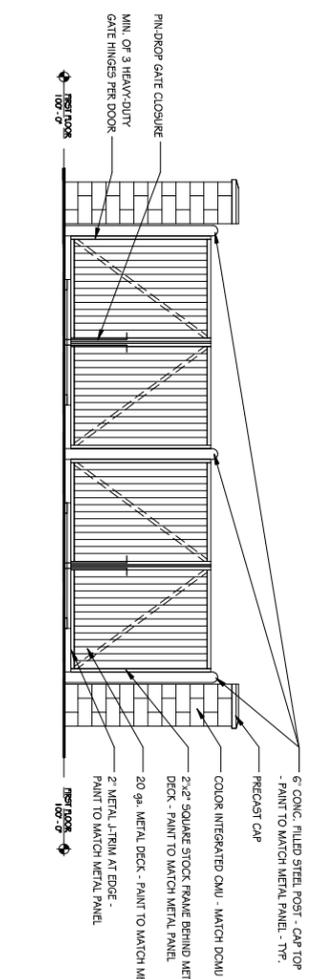
LOCATION	AVERAGE	MAXIMUM	MINIMUM	MAXIMUM
Detail Filled Region	2.3 fc	7 fc	0.3 fc	24.7
Detail Filled Region	0.0 fc	0 fc	0.0 fc	0.0

LIGHT FIXTURE SCHEDULE

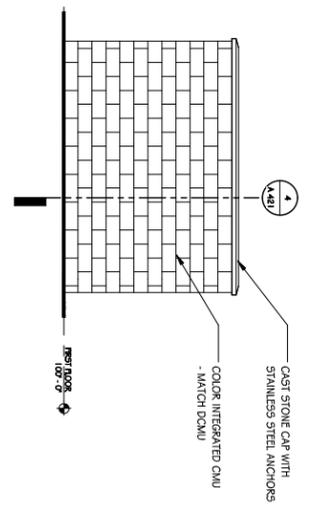
TYPE	DESCRIPTION	MOUNTING	WATTS	MANUFACTURER	NOTES
9A	SITE FIXTURE TYPE 4 FT	25' POLE	105 VA	EATON / MCGRAW EDISON	1, 2, 3
9B	SITE FIXTURE TYPE 3 H59	25' POLE	105 VA	EATON / MCGRAW EDISON	1, 2, 3
9C	SITE FIXTURE TYPE 4 WIDE	25' POLE	105 VA	EATON / MCGRAW EDISON	1, 2, 3

- ALL LED FIXTURES TO HAVE WARRANTY TO MEET OR EXCEED WARRANTY INCLUDED IN BASIS OF DESIGN. FIXTURES LISTED AS EQUALS SHALL MEET DELIVERED LUMENS, CRI, EFFICACY AND OPTIONS OF THAT SPECIFIED.
- THE MOUNTING DESCRIPTION IS GENERAL. REFER TO SHOP DRAWINGS AND MANUFACTURERS INSTALLATION INSTRUCTIONS FOR SPECIFIC MOUNTING DETAILS.
- PARKING LOT FIXTURES TO HAVE POLE BASE PER DETAIL. PROVIDE WITH 25' SQUARE STRAIGHT ALUMINUM POLE BY "UNITED LIGHTING STANDARDS". POURED IN PLACE BASE REQUIRES A RUBBER FINISH.

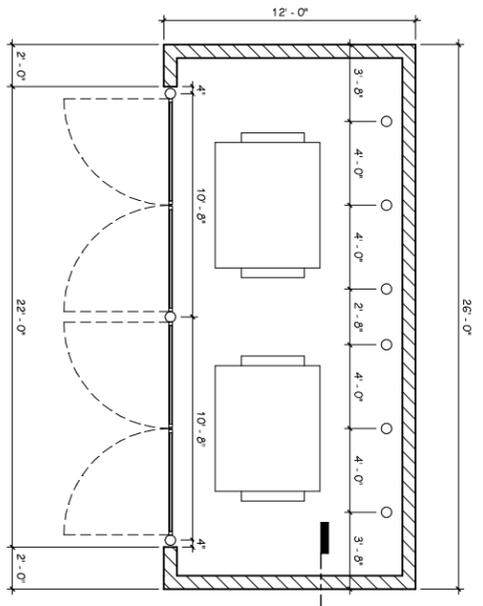




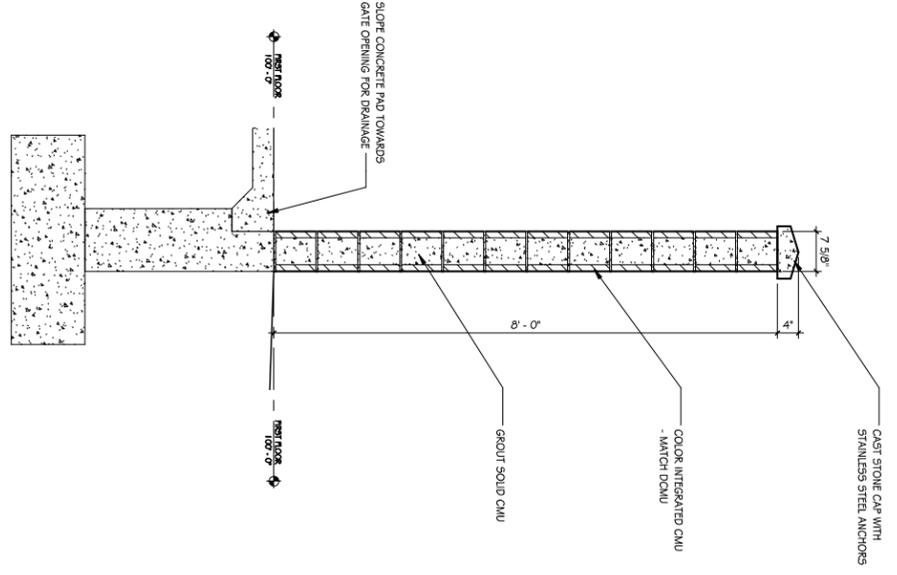
2 DUMPSTER ENCLOSURE ELEVATION
1/4" = 1'-0"



3 DUMPSTER ENCLOSURE ELEVATION
1/4" = 1'-0"

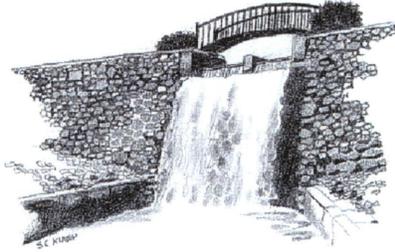


1 DUMPSTER ENCLOSURE PLAN
1/4" = 1'-0"



4 WALL SECTION
3/4" = 1'-0"

Charter Township of Comstock



STAFF REPORT

To: Planning Commission **Meeting Date:** 12/15/16

From: Jodi Stefforia, Planning & Zoning Administrator **Agenda Item:** 7

Applicant: Bryan Richardson, A.J. Veneklasen, Inc.

Owner: Zeigler Auto Group

Property: 5001 Park Circle Drive

Zoning: M, Manufacturing/Midlink Business Park PMUD

Request: site plan amendment - site layout changes and addition of a restaurant

Section(s): 22.04 – Site Plan Approval
22.05 – Conformity, revocation and modifications

Staff Report:

Overview

Since site plan approval was granted in April, the site plan has been revised several times and building size changed with the addition of a restaurant. Staff was able to administratively review and approve most changes that have occurred, however, at this point, the cumulative change to the site as compared to what the Planning Commission approved is significant and warrants review and approval by the Planning Commission.

The Sprinkle Road access point was eliminated. With removal of the driveway, the building was moved forward as was parking and associated lighting.

A 4,300 square foot restaurant has been added to the south end of the building. This expansion to the building caused further changes to parking and internal circulation. Previously a 27-space parking area was provided on the south side of the building with a 24-foot wide drive aisle. Now, there are six parking spaces on the south side of the building and a drive aisle ranging from 20

feet (effectively 18 feet) to 24 feet wide. Three of the six parking spaces are in front of the dumpster serving the restaurant. Staff did ask for the dumpster to be relocated to another area of the site but the applicant prefers to keep it where shown on the site plan.

When site plan approval was granted, the Zoning Ordinance required that a minimum of 15% of the site under development must be in landscaped open space with not less than 30% of the landscaped area between the road and building. The Midlink Business Park PMUD design standards addressing landscaping exceeded the Zoning Ordinance at that time and were accepted by the Planning Commission as controlling for this site. However, in April, the stand of trees on the north side of the building were going to be preserved and have since been removed to allow for a drive along the north side of the building; a berm has been added to that area.

The landscaping plan shows 6 new trees being planted on the berm and the addition of 8 trees along Sprinkle Road in addition to the interior landscaping previously required by Midlink (mix of canopy trees and understory trees totaling 26). Staff would submit that timing is such that this project was well underway before the landscaping ordinance was adopted, including the addition of the restaurant. Consider the applicant's anticipated comments on Thursday as to the preferred landscaping plan (attached) and what would be required along the north property line and Sprinkle Road if site plan approval were just now being requested:

Sprinkle Road frontage: 15 canopy trees, 21 understory trees and 30 shrubs.
North property line: 11 canopy trees, 17 understory trees and 23 shrubs.

Site Plan Changes

- No access to Sprinkle Road is provided.
 - Improvement to the site plan and traffic flow on Sprinkle Road.
 - Allowed building to be moved forward/west on the site.
 - Moved parking and lighting closer to the front as well.
 - Eliminated west drive connection between the front and lower parking areas.
- A 4,300 square foot restaurant is planned on the south side of the building.
 - Impacts internal circulation
 - Enlarges the building footprint
 - Creates need for more parking
 - Lead to loss of parking on south end of the building.
- The driveway off of Midlink Drive is now part of the internal site circulation where previously it was intended just for customers needing to access the back of the building for service.
 - Improvement to internal site circulation and customer access to site
- A drive is provided along the north side of the building as part of the changes to the Midlink Drive access where previously no loop was provided around the building and trees were preserved in that area.
 - Improvement to internal site circulation
 - Loss of mature trees that were previously proposed to remain
- A berm was added along the north property line in the area where trees once stood.

- Softens view of long north wall of the building as viewed from Sprinkle Road southbound traffic and off-site.
 -
- The drive around the building is effectively only 18 feet wide (20' with 2' HMA curb) along the south wall of the restaurant.
 - Concern over narrowness of this drive knowing that trucks and vehicles pulling trailers will utilize it when accessing the service end of the building (northwest corner of the building).
 - Concern over conflicts between vehicles and trucks in this area including garbage trucks.
 - Lower parking area sits approximately 6 lower than the drive; the land drops-off at the edge of this narrow drive.
 - Consider if internal directional signs advising drivers pulling trailers to use the north drive to access the service area on the front of the building would be effective and should be required.
- Parking in front of dumpster serving the restaurant.
 - Concern over parking spaces directly in front of the dumpster and conflicts when the dumpster is being serviced as well as when the enclosure gates are inevitably left open or not properly closed.
 - Dumpster should be moved to another location, perhaps in the green area east of the proposed location with service from the north side (this may require moving the planned fence and gate location to allow servicing the dumpster).
 - This area also serves as the loading/unloading area.
- The lower parking lot is physically separated from balance of site where previously access to this parking area was off a drive that went around the front of the building.
 - Separation required to allow lower parking lot to be used for education program for the Michigan motorcycle endorsement.
- Area behind the building formerly meant for trailer storage is now identified as the deferred parking area for 64 spaces.
 - Due to loss of parking up front with building expansion.
 - The deferred parking area will be used for trailer storage until paved for parking, if and when needed in the future.
 - The Zoning Ordinance allows the Planning Commission to approve the deferred parking as proposed.
 - There will be 90 parking spaces in the lower lot more readily accessible to the building entrances.

RECOMMENDATION

Approval of the amended site plan subject to the findings of the Planning Commission with respect to the following:

- Concerns noted above about the drive aisle narrowness.
- Possible internal directional signs to keep/minimize vehicles with trailers and trucks from using the south drive along the building.
- Concerns noted above about the dumpster location.
- Landscaping as deemed appropriate during the review and discussion.
- Parking deferment of up to 64 spaces, if found appropriate; the deferred spaces will be constructed when it is determined by the Planning Commission that they are needed, pursuant to Section 6.02(2).

Attachments: Application
Original site plan (11"x17")
Revised set of plans (11"x17")
Revised plans (full-size, Sheets 1-3)



**CHARTER TOWNSHIP OF COMSTOCK
PLANNING & ZONING APPLICATION**

6138 King Highway, Kalamazoo MI 49048
PO Box 449, Comstock MI 49041-0449
Phone: 269-381-2360 Fax: 269-381-4328

PLEASE PRINT

PROJECT NAME AND ADDRESS: Zeigler Motor Sports, 5001 Park Circle Drive

APPLICANT:

Name Bryan Richardson
Company AJ Veneklasen, Inc.
Address 5000 Kendrick Street SE
Grand Rapids MI, 49512-9648
Email brichardson@ajvinc.com
Phone (616) 957-3731 Fax (616) 957-4085
Interest in the Property Design Build Contractor

Township Use:

Fee:

\$ 250 ^{out of} escrow

Escrow:

\$ 1200 replenishment

Date Paid:

11-23-16

cash/credit card

check # 58507

for Escrow

OWNER*:

Name Daniel J. Scheid
Company Zeigler Auto Group
Address 4201 Stadium Drive
Kalamazoo, MI 49008
Email ds@zeigler.com
Phone (269) 488-2271 Fax (269) 375-2181

*If different

NATURE OF REQUEST: (Please check all the appropriate item(s))

- | | |
|-------------------------------------------------------------------------|------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan Review - <u>Amendment</u> | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Administrative Site Plan Review | <input type="checkbox"/> Master Plan Amendment |
| <input checked="" type="checkbox"/> Special Exception Use | <input type="checkbox"/> Text Amendment |
| <input type="checkbox"/> Site Condominium | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Subdivision Plat Review | <input type="checkbox"/> Interpretation |
| <input type="checkbox"/> PUD/PURD/PMUD | <input type="checkbox"/> Planning Escrow |
| <input type="checkbox"/> Other: _____ | |

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): _____

4,300 square foot restaurant addition at the south end of the motorsports showroom

LEGAL DESCRIPTION OF PROPERTY (Use Attachments if Necessary): See plans

PARCEL NUMBER: 3907 - 31-102-156

ADDRESS OF PROPERTY: 5001 Park Circle Drive

PRESENT USE OF THE PROPERTY: Vacant

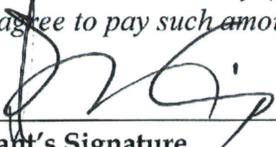
PRESENT ZONING: M-Manufacturing SIZE OF PROPERTY: 12.13 Acres

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
_____	_____
_____	_____

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. By submitting this Planning & Zoning Application, I (we) grant permission for Comstock Township officials and agents to enter the subject property of the applicant as part of completing the reviews necessary to process the application. I (we) as Applicant(s), understand that I (we) am responsible for the reimbursement to the Township of its actual expenses in connection with my (our) application, under the Township's Escrow Fee Policy, and I (we) agree to pay such amounts under the terms of that policy.



Applicant's Signature

16 NOV 2016
Date

SAME

Owner's Signature authorizing submission of Application
(* If different from Applicant)

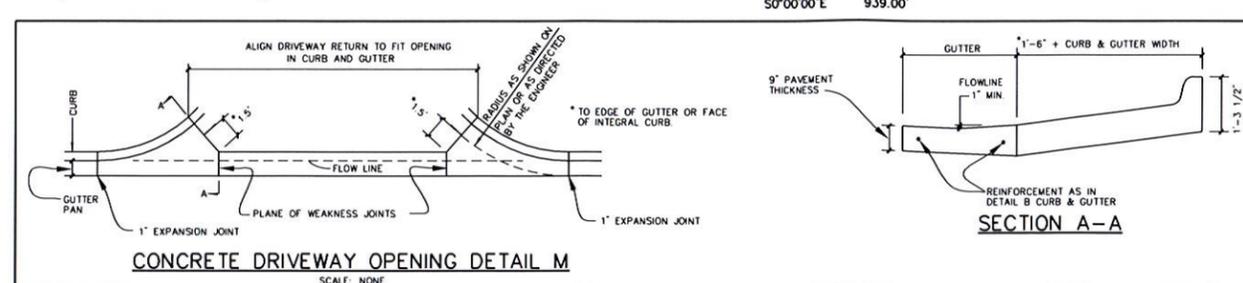
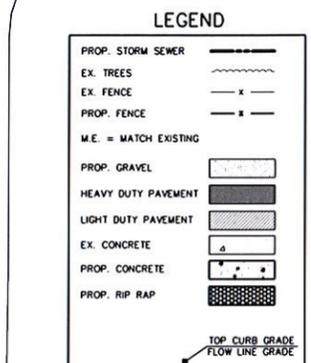
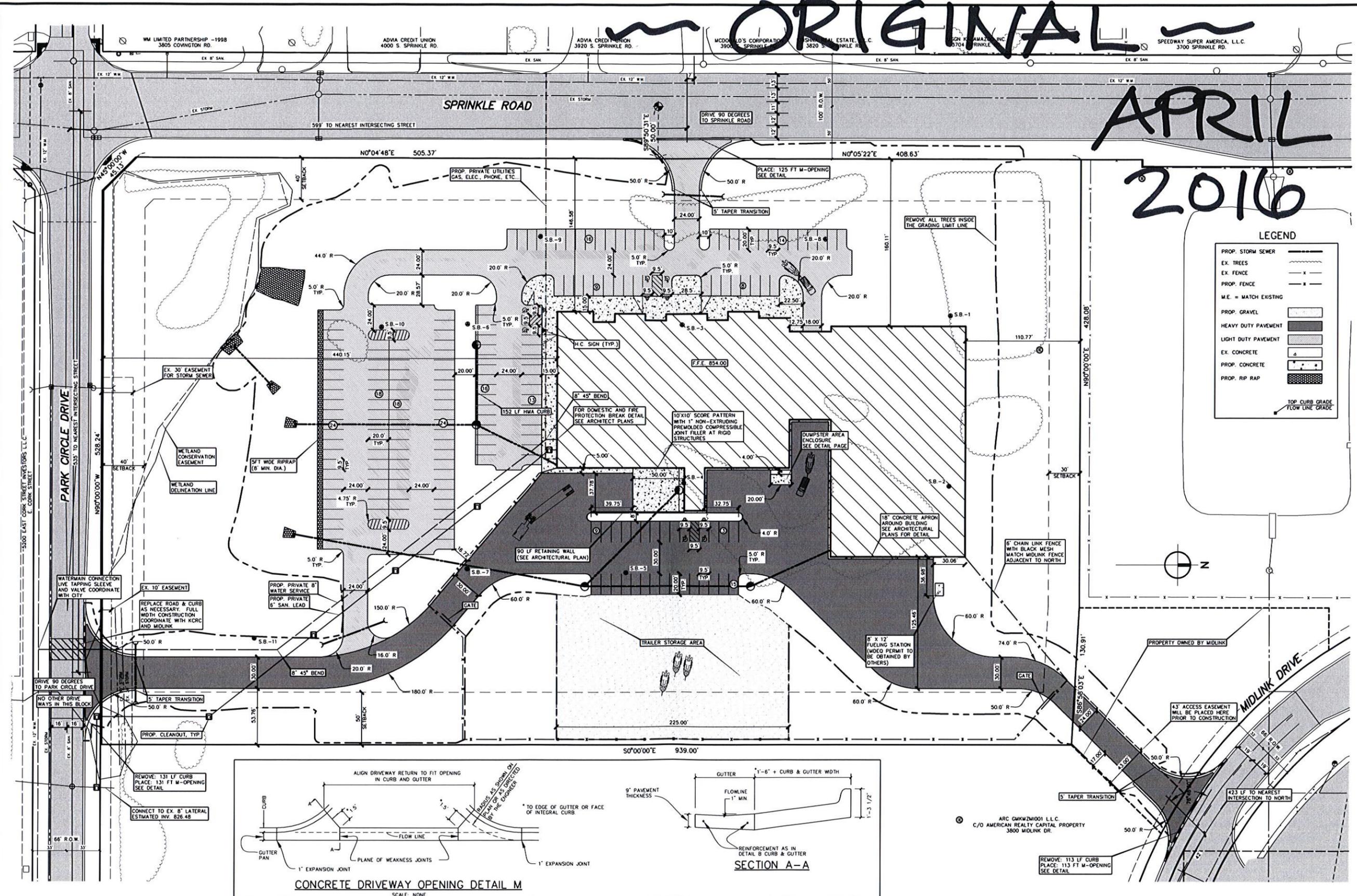
Date

**** PLEASE ATTACH ALL REQUIRED DOCUMENTS ****

- Copies to:
- Planning & Zoning - 1
- Applicant - 1
- Treasurer - 1
- Assessor - 1
- Administrative Assistant - Original

ORIGINAL

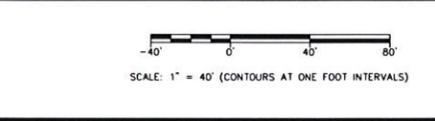
APRIL 2016



1) UNDERGROUND UTILITIES AS SHOWN HEREON WERE LOCATED USING OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLANS OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT, AND MARKINGS BY UTILITY COMPANIES AND OTHER APPROPRIATE SOURCES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL, OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

2) LOCATIONS OF PROPERTY LINES SHOWN ON THIS DRAWING ARE APPROXIMATE.

3) ALL WORK SHALL BE DONE IN ACCORDANCE WITH MDT AND PREIN&NEWHOF STANDARD SPECIFICATIONS.



811 UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OF AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NO.	REVISIONS	BY	DATE	DRAWN
1	OWNER REVIEW	DRG	03/02/16	DRG
2	OWNER SUBMITTAL 90 PERCENT	DRG	03/07/16	DATE
3	COMSTOCK/KCRC SUBMITTAL	DRG	03/14/16	APR '16
4	COMSTOCK/KCRC COMMENTS	DRG	04/04/16	CHECKED
				DGL
				DATE
				APR '16

Prein&Newhof
Engineers • Surveyors • Environmental • Laboratory

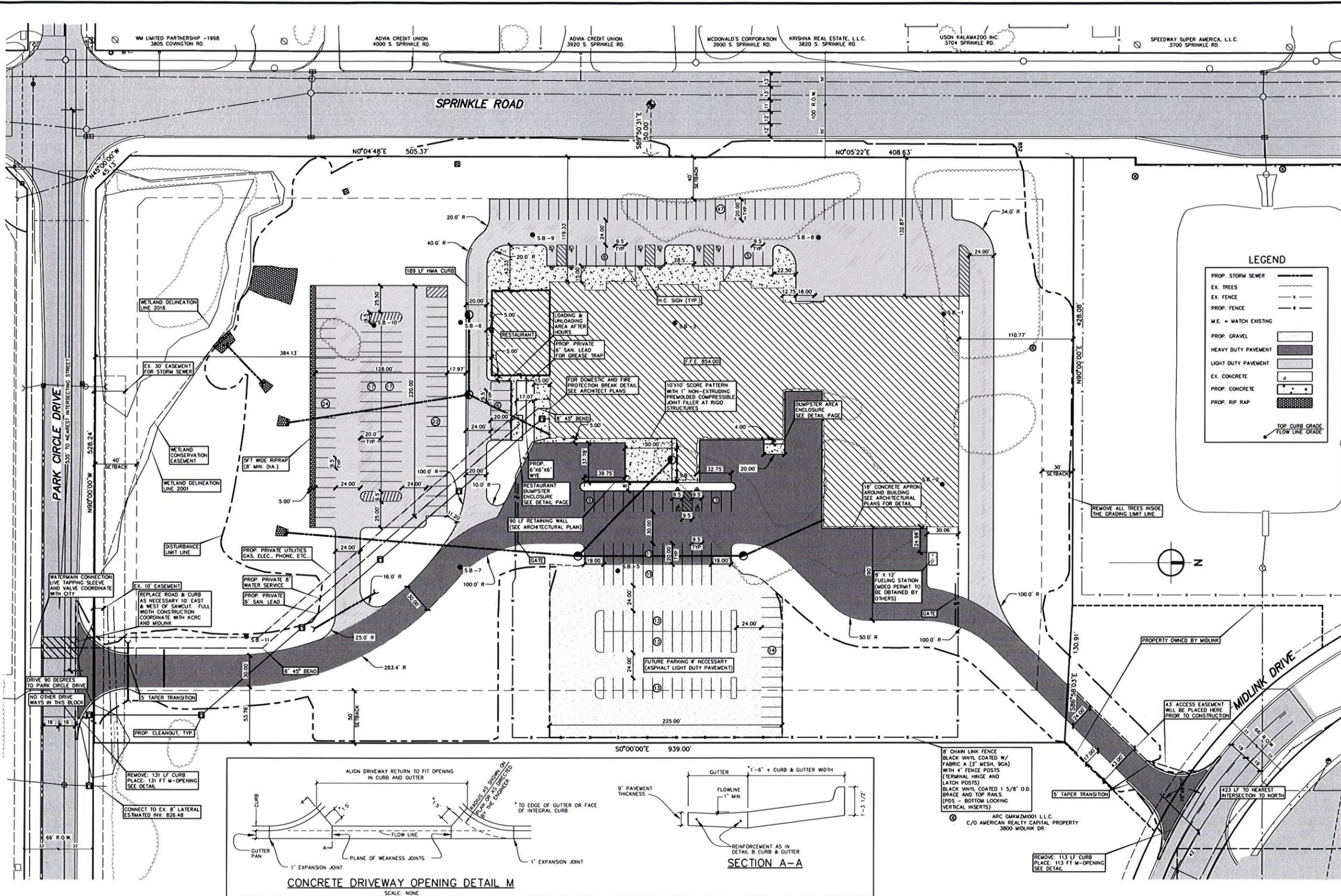
TOWER PINKSTER
LOCATED IN SECTION 31, T. 2 S., R. 10 W.
COMSTOCK TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN

ZEIGLER MOTORSPORTS

SITE PLAN

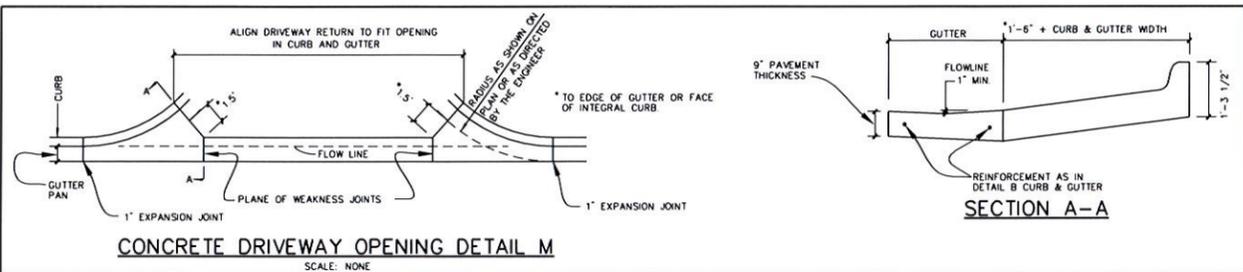
PROJECT NO.
2160042

SHEET NO.
2 OF 5

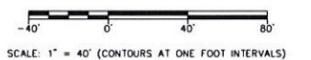


LEGEND

- PROP. STORM SEWER
- EX. TREES
- EX. FENCE
- PROP. FENCE
- M.E. = MATCH EXISTING
- PROP. GRAVEL
- HEAVY DUTY PAVEMENT
- LIGHT DUTY PAVEMENT
- EX. CONCRETE
- PROP. CONCRETE
- PROP. RIP RAP
- TOP CURB GRADE
- FLOW LINE GRADE



- 1) UNDERGROUND UTILITIES AS SHOWN HEREON WERE LOCATED USING OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLANS OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT, AND MARKINGS BY UTILITY COMPANIES AND OTHER APPROPRIATE SOURCES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- 2) LOCATIONS OF PROPERTY LINES SHOWN ON THIS DRAWING ARE APPROXIMATE.
- 3) ALL WORK SHALL BE DONE IN ACCORDANCE WITH MDT AND PREIN&NEWHOF STANDARD SPECIFICATIONS.



811
 Have your utility locations derived from actual measurements or available records. They should not be interpreted to be exact locations nor should it be assumed that they are the only utilities in this area.
 Call before you dig.

NO.	REVISIONS	BY	DATE	DRW
8	ADDED GARAGE DOOR/HANDICAP SPACES	DRG	05/27/16	DRG
9	MIDLINK COMMENTS	DRG	06/06/16	NOV. '16
10	REVISED PARKING & GRADING	DRG	06/16/16	CHECKED
11	REVISED DRIVES	DRG	07/14/16	DGL
12	REVISED DRIVES WITH DETAILS	DRG	08/19/16	NOV. '16
13	RESTAURANT ADDITION	DRG	10/13/16	
14	TOWNSHIP COMMENTS	DRG	11/07/16	

Prein & Newhof
 Engineers • Surveyors • Environmental • Laboratory

TOWER PINKSTER
 LOCATED IN SECTION 31, T. 2 S., R. 10 W.
 CONISTOCK TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN

ZEIGLER MOTORSPORTS
EAST FUTURE PARKING

PROJECT NO: 2160042
 SHEET NO: 2 OF 5

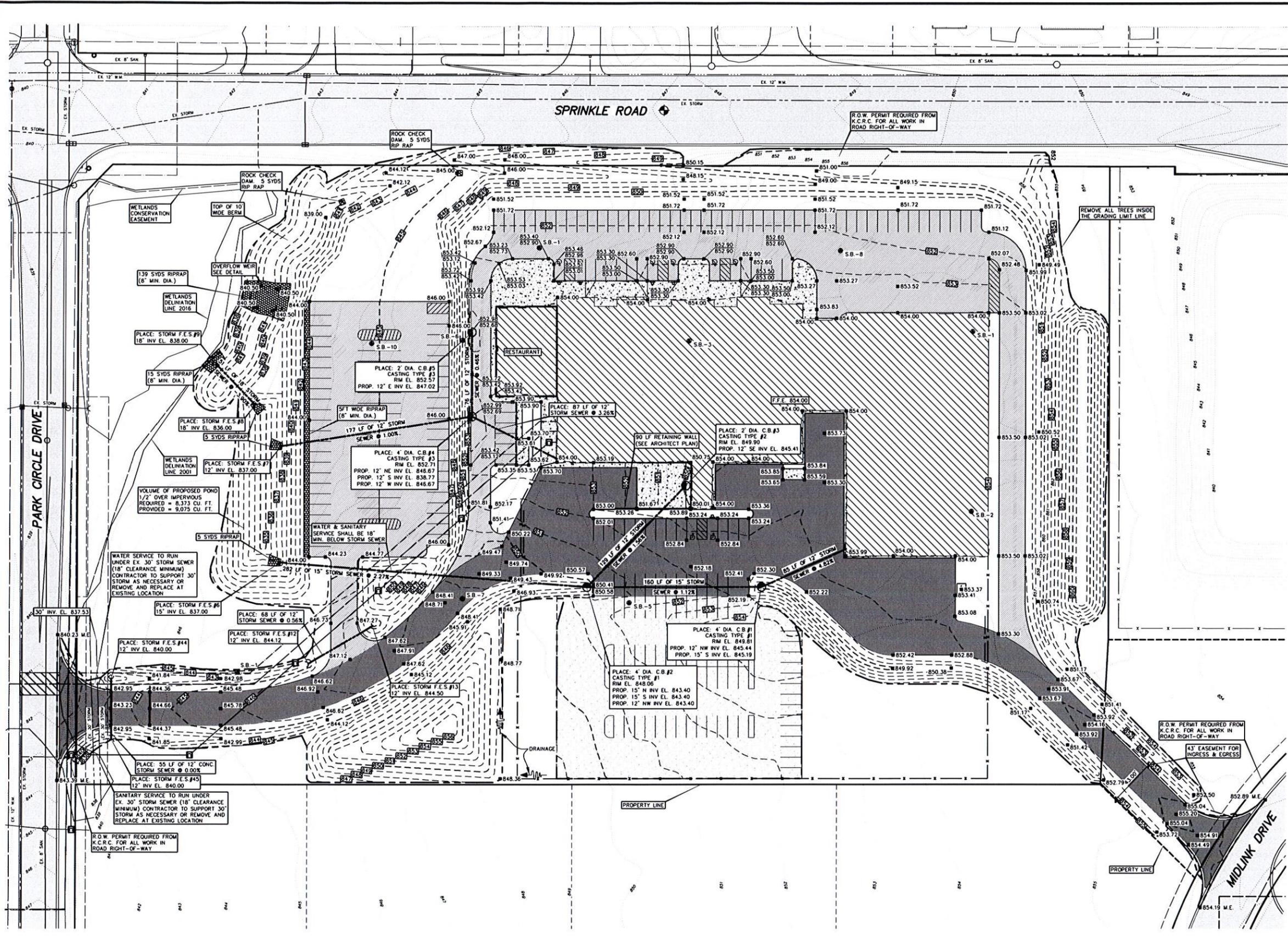


LEGEND

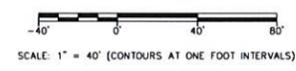
PROP. STORM SEWER	---
EX. TREES	~
EX. FENCE	- - -
PROP. FENCE	- - -
M.E. = MATCH EXISTING	
PROP. GRAVEL	▨
HEAVY DUTY PAVEMENT	▩
LIGHT DUTY PAVEMENT	▧
EX. CONCRETE	▣
PROP. CONCRETE	▤
PROP. RIP RAP	▦
TOP CURB GRADE	—
FLOW LINE GRADE	—

STRUCTURE DATA	
STRUCTURE NAME	CASTING TYPE
C.B.#1	CASTING TYPE #1
C.B.#2	CASTING TYPE #1
C.B.#3	CASTING TYPE #2
C.B.#4	CASTING TYPE #3
C.B.#5	CASTING TYPE #3

CASTING TYPE #1 = 1040 W/BEEHIVE G2 COVER
 CASTING TYPE #2 = 1040 W/M1 FLATE GRATE
 CASTING TYPE #3 = 7045 W/M1 GRATE 7060 T1 BACK



- 1) UNDERGROUND UTILITIES AS SHOWN HEREON WERE LOCATED USING OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLANS OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT. AND MARKINGS BY UTILITY COMPANIES AND OTHER APPROPRIATE SOURCES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- 2) LOCATIONS OF PROPERTY LINES SHOWN ON THIS DRAWING ARE APPROXIMATE.
- 3) ALL WORK SHALL BE DONE IN ACCORDANCE WITH MDT AND PREIN&NEWHOF STANDARD SPECIFICATIONS.



811 UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NO.	REVISIONS	BY	DATE	DRG
8	ADDED GARAGE DOOR/HANDICAP SPACES	DRG	05/27/16	DRG
9	MIDLINK COMMENTS	DRG	06/06/16	DRG
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14	TOWNSHIP COMMENTS	DRG	11/07/16	NOV. '16

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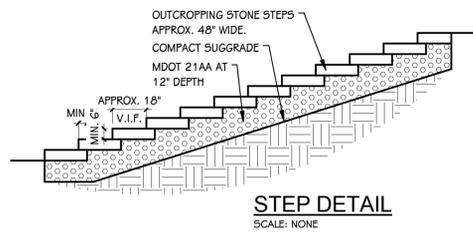
TOWER PINKSTER
 LOCATED IN SECTION 31, T. 2 S., R. 10 W.
 COMSTOCK TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN

ZEIGLER MOTORSPORTS
GRADING PLAN

PROJECT NO: **2160042**
 SHEET NO: **3 OF 5**



1:0430 PROJECT: 2160042 TOWER PINKSTER - ZEIGLER MOTORSPORTS/NEW HOF BALDWIN/ALZHOVER/DWG - 200808 - REV. 08 2016 - 031.kgm - P:\mch\mch\



STEP DETAIL
SCALE: NONE

PLANTING SCHEDULE

PLAN T ID	COUNT	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE	SPACING
AC	6	ACER CAMPESTRE	HEDGE MAPLE	3" CAL.	30' O.C.
ARAB	3	ACER RUBRUM 'AUTUMN BLAZE'	RED MAPLE	3" CAL.	20'-0" O.C.
BNH	5	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH MULTI-STEM	8'-0"-10'-0" HT.	20'-0" O.C.
GB	6	GINKGO BILOBA	GINKGO TREE	3" CAL.	20' O.C.
GTS	7	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	HONEYLOCUST	3" CAL.	35' O.C.
JH	10	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	24" SPRD.	3' O.C.
MS	27	MISCANTHUS SINESIS 'MORNING LIGHT'	MORNING LIGHT GRASS	3" CAL.	3' O.C.
MYP	13	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	30" HT.	10'-0" O.C.
PC	1	PYRUS CALLERYANA 'BRADFORD'	BRADFORD PEAR	2.5" CAL.	40' O.C.
PGD	12	PICEA GLAUCA DENSATA	NORWAY SPRUCE	6'-0" HT.	20'-0" O.C.
RA	7	RHUS AROMATICA 'GRO LOW'	FRAGRANT SUMAC	24" HT.	4' O.C.

GENERAL NOTES

1. VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING
2. GUY AND STAKE ALL TREES
3. VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING
4. INSTALL WATER BAGS AND MAINTAIN TREES THROUGH DROUGHT PERIODS

Tower Pinkster Titus Associates Inc.

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TOWERPINKSTER.COM

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DATE

NOVEMBER 14, 2016

PROJECT TITLE

ZEIGLER MOTORSPORTS

ZEIGLER AUTO GROUP

Kalamazoo, Michigan

ISSUED FOR

DATE

SHEET TITLE

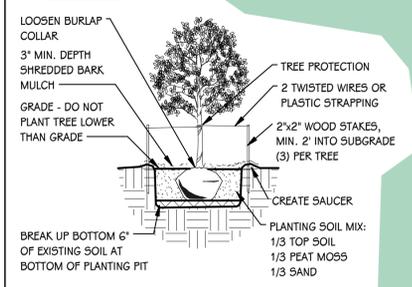
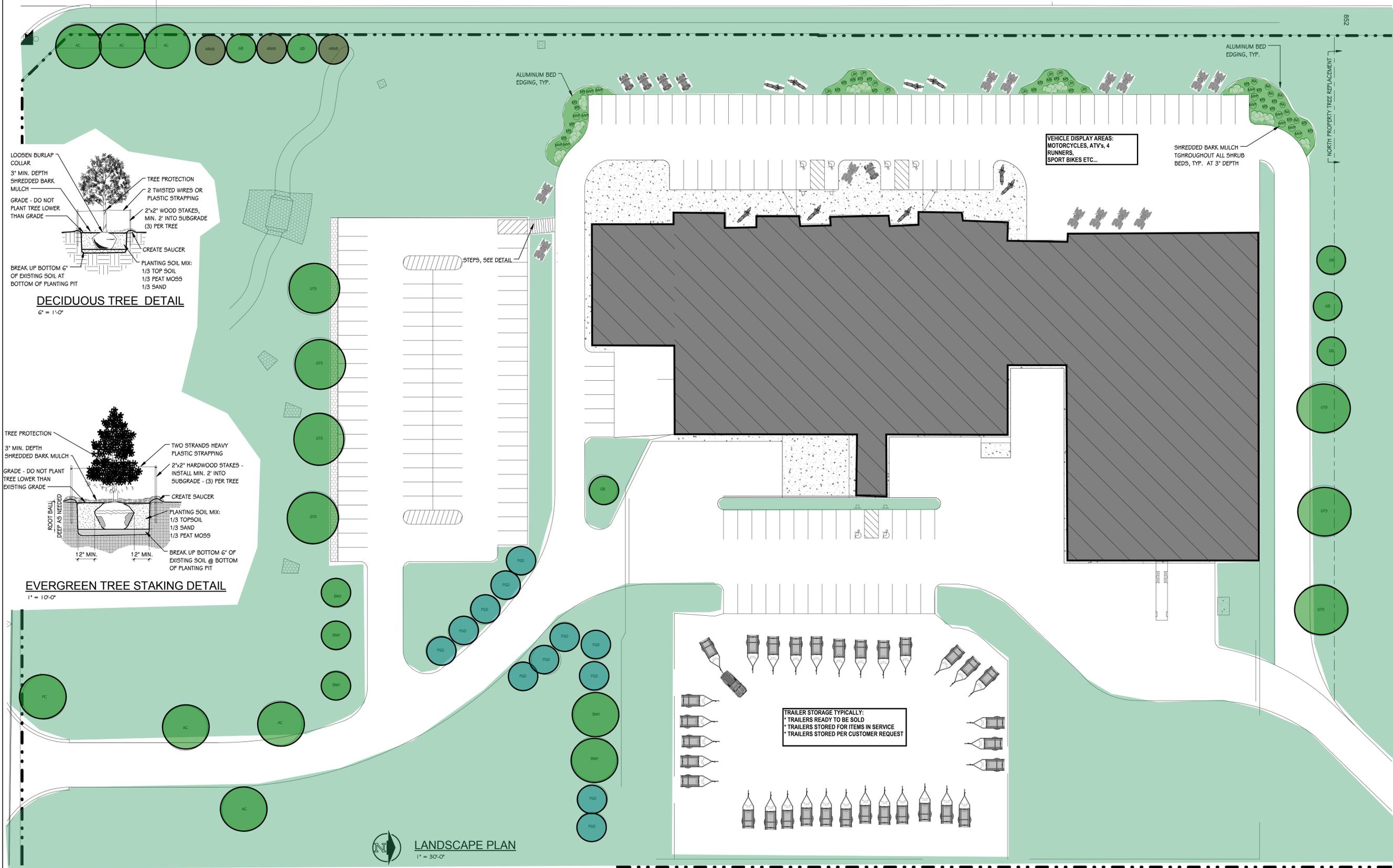
LANDSCAPE PLAN

SHEET NUMBER

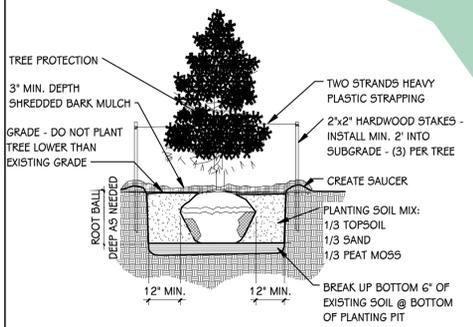
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15-197.00

PRELIMINARY
NOT FOR CONSTRUCTION



DECIDUOUS TREE DETAIL
6" = 1'-0"



EVERGREEN TREE STAKING DETAIL
1" = 10'-0"